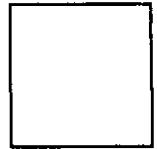




Type



Plans

AD R 09-0033

Permit Number

370

Street Number

SEBASTOPOL RD

Street Name

SRO

Community Code

125-172-040

APN

COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 VENTURA AVENUE, SANTA ROSA, CA 95403-2829
(707) 565-1900 FAX (707) 565-1103

Application Fees / Invoice for: ADR09-0033

Project Address: 370 SEBASTOPOL RD SRO

Cross Street: DUTTON AVE

APN: 125-172-040

Description: ADMIN DESIGN REVIEW FOR ADDITION TO EXISTING GAS

Printed: Thursday, July 23, 2009
Initialized by: SHUNSPER
Activity Type: AB-ADR 901
PCAS #:

Owner: GAWFCO ENTERPRISES INC
ATTN: MIKE AHMADI
587 YGNACIO VALLEY RD
WALNUT CREEK CA 94596
415 576 7676

Applicant: MI ARCHITECTS INC
ATTN: MUTHANA IBRAHIM
2960 CAMINO DEIABLO SUITE 100
WALNUT CREEK CA 94597
925 287 1174 X1

Fees:

Item#	Description	Account Code	Tot Fee	Prev. Pmts	Cur. Pmts
1033	DR C/I/S P/C I NO HRG	025015-3808	838.00	.00	.00
1052	ENV REV CEQA EXEMPT DET	025015-3811	33.00	.00	.00
			\$871.00	\$0.00	

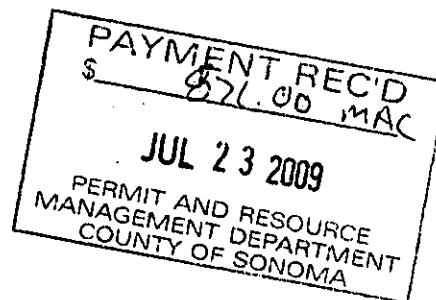
Total Fees: \$871.00

Total Paid: \$0.00

Balance Due: \$871.00

Refunds will not be authorized unless circumstances comply with established PRMD refund policy provisions.

When validated below, this is your receipt.



Planning Application


PJR-001

File#: AOR09-0033

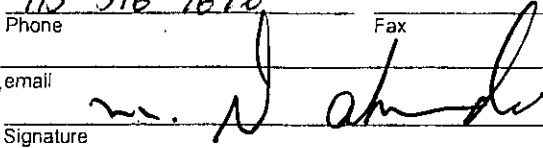
Type of Application:

- | | | | |
|--|--|---|--------------------------------------|
| <input type="checkbox"/> Admin Cert. Compliance | <input type="checkbox"/> Design Review Comm./Ind. | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Ag./Timber Preserve | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Mobile Home Zoning Permit | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Cert. of Compliance | <input type="checkbox"/> Design Review Signs | <input type="checkbox"/> Ordinance Interpretation | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cert. of Modification | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Second Unit Permit | |
| <input type="checkbox"/> Coastal Permit | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Specific/Area Plan Amendment | |
| <input checked="" type="checkbox"/> Design Review Admin. | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Use Permit | |

Applicant (Contact Person):

MI Architects, Inc. / Mr. Muthana Ibrahim
Name
2960 Camino Diablo, Suite 100
Mailing Address
Walnut Creek CA 94597
City/Town State Zip
925-287-1174 x1 925-943-1581
Phone Fax
Muthana@miaarchitect.com
email
 7/21/09
Signature Date

Owner, if other than Applicant:

Gawco Enterprises, Inc. / Mr. Mike Ahmad
Name
587 Ygnacio Valley Rd.
Mailing Address
Walnut Creek CA 94596
City/Town State Zip
415-516-7676
Phone Fax
 7/21/09
Signature Date

Other Persons to be Notified: (Specify: Other Owner(s), Agent, Lender, Architect, Engineer, Surveyor)

Name	Name	Name
Mailing Address	Mailing Address	Mailing Address
City/Town State Zip	City/Town State Zip	City/Town State Zip
Title	Title	Title
Phone Fax	Phone Fax	Phone Fax
email	email	email

Project Information:

370 Sebastopol Rd.
Address(es) 125-172-040 Santa Rosa
City/Town 52 Acres
Assessor's Parcel Number(s) Acreage
Project Description: Revise Bldg Permit #BLD05-7532 to expand bldg footprint by 609 s.f.
(Please attach additional sheet(s) if needed)
Site Served by Public Water? Yes No Site Served by Public Sewer? Yes No Number of new lots proposed _____

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

Planning Area: 5 Supervisorial District: 5 Current Zoning: C2, VOLT General Plan Land Use: LC
Specific Plan: South Santa Rosa S.P. Land Use: _____ Needs CEQA Review? yes no

Commercial/Industrial Uses: (Enter numbers where applicable)

Bldg. sq. ft. Existing: _____ Proposed: _____ Existing Employees: _____ New Employees: _____
New Manufactured Homes: _____ New Units For Sale: _____ New Units For Rent: _____ Density Bonus Units: _____
Violation? yes no; Application resolve planning violation? yes no; Penalty applicable? yes no; Civil Penalty Factor NA

Previous Files: _____
Application accepted by SCOTT HUNSPERGER Date 7/23/09

Sonoma County Permit and Resource Management Department
2550 Ventura Avenue * Santa Rosa, CA * 95403-2829 * (707) 565-1900 * Fax (707) 565-1103

Supplemental Application Information

Existing use of property: Gas Station & Food Mart

Acreage: .52

Existing structures on property: 1,611 S.F. Food Mart Building
1,010 S.F. Fueling Canopy

Proximity to creeks, waterways and impoundment areas: _____

Vegetation on site: Yes

General topography: Flat

Surrounding uses to (Note: An adjoining road is not a use.)
North: Commercial South: Residential
East: Commercial West: Commercial

New structures proposed (size, height, type): 609 S.F., +15'-6" High, metal stud exterior wall
w/ cement plaster exterior finish

Number of employees: Full time: 1 Part time: _____ Seasonal: _____

Operating days: 365 Hours of operation: 24 hrs.

Number of vehicles per day: Passenger: _____ Trucks: _____

Water source: Sonoma County Water Agency Sewage disposal: Sonoma County Water Agency

Provider, if applicable: _____ Provider, if applicable: _____

New noise sources (compressors, power tools, music, etc.): N/A

Grading proposed: Amount of cut (cu. yds.): _____ Amount of fill (cu. yds.): _____ Will more than one acre be disturbed by construction of access roads, site preparation and clearing, fill or excavation, building removal, building construction, equipment staging and maintenance, or other activities? Yes _____ No _____ If Yes, indicate area of disturbance(acres): _____ Identify method of site drainage (sheet flow, storm drain, outflow to creek or ditch, detention area, etc.): _____

Vegetation to be removed: N/A

Will proposal require annexation to a district in order to obtain public services: Yes _____ No X

Are there currently any hazardous materials (chemicals, oils, gasoline, etc.) stored, used or processed on this site? Yes X No _____

Will the use, storage, or processing of hazardous materials occur on this site in the future if this project is authorized? Yes X No _____

Fire safety information (existing/proposed water tanks, hydrants, emergency access and turnaround, building materials, etc): N/A

Indemnification Agreement

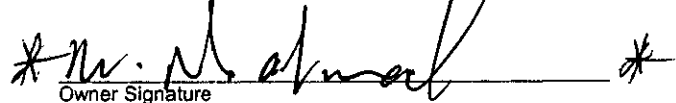
PJR-011

"As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in conjunction with the approval of this application, whether or not there is concurrent passive or active negligence on the part of the County. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect."

Mr. Muthana Ibrahim
Applicant Name


Applicant Signature

Mr. Mike Ahmadi
Owner Name


Owner Signature

7-21-09
Date

AD R09-0033
File No.

NOTE: The purpose of the Indemnification Agreement is to allow the County to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

Sonoma County Permit and Resource Management Department

2550 Ventura Avenue ❖ Santa Rosa, CA ❖ 95403-2829 ❖ (707) 565-1900 ❖ Fax (707) 565-1103



MI Architects, Inc. A California Corporation

ARCHITECTURE . PLANNING . MANAGEMENT . DESIGN
2960 CAMINO DIABLO, SUITE 100, WALNUT CREEK, CALIFORNIA 94597

Muthana Ibrahim
Architect
President

Telephone :
(925) 287-1174

Facsimile:
(925) 943-1581

Cell:
(925) 878-9875

Email:
muthana@miarchitect.com

Proposal Statement:

The property owner is intended to expand the existing Food Mart building that was previously approved as a Tenant Improvement under Permit #BLD05-7532. The 609 s.f. expansion would include metal framed exterior walls w/ cement plaster finish & a parapet wall cap with 2x trim & cement plaster finish. The cement plaster finish would also be applied to the existing metal walls.

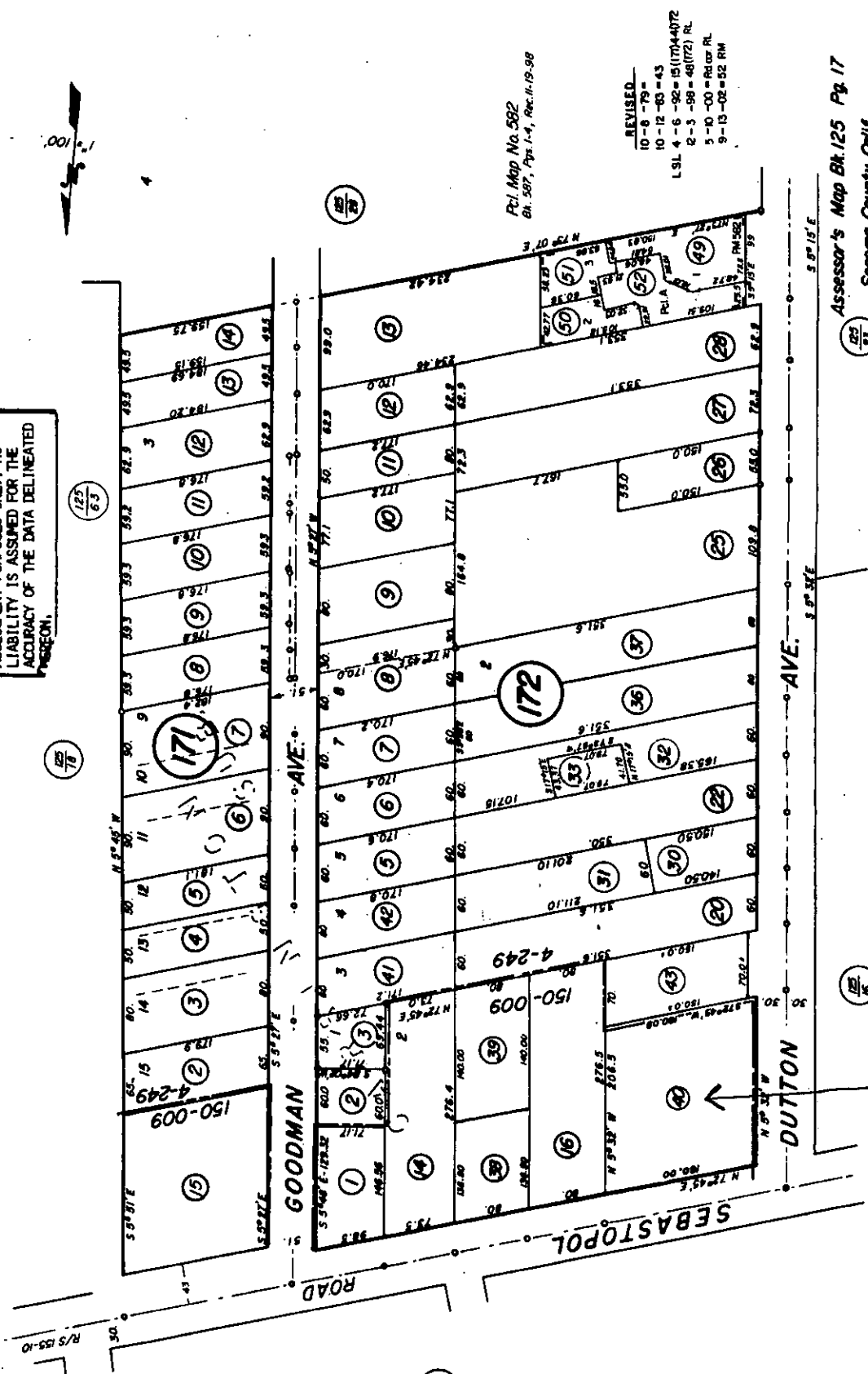
The building expansion does not interfere with vehicular circulation and 18 parking stalls are provided which is in excess of the 11 parking stalls required for the Food Mart use.

TAX RATE AREA
150-009
4-249

COUNTY ASSESSOR'S PARCEL MAP

NOTE: Assessor's parcels do not necessarily constitute legal lots. To verify legal parcel status, check with the appropriate city or county community development or planning division.

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA DELINEATED HEREON.



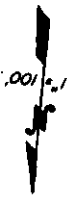
Pl. Map No. 582
Ch. 587, Pgs. 1-4, Rec. II-19-98

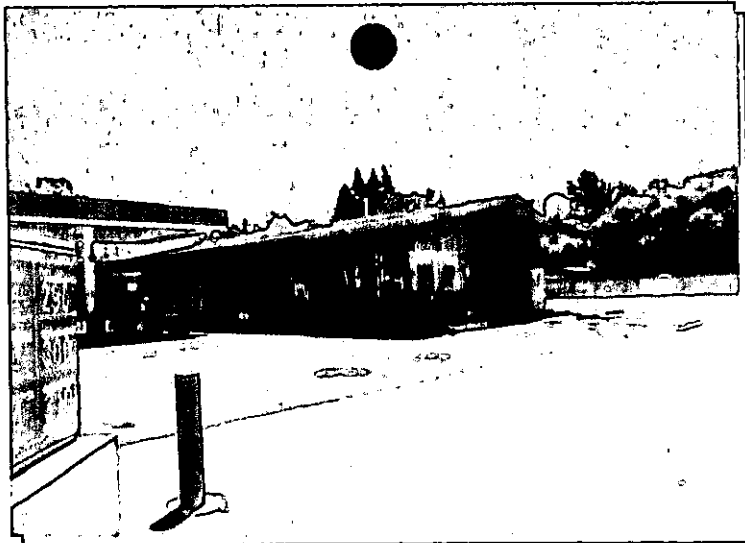
REVISED -
 10-8-79 -
 10-12-83 -43
 L 9L 4-6-92 = 15(17044)72
 2-3-98 = 48(172) RL
 5-10-00 = 84(02) RL
 9-13-02 = 82 RM

Assessor's Map Bk. 125 Pg. 17
Sonoma County, Calif.

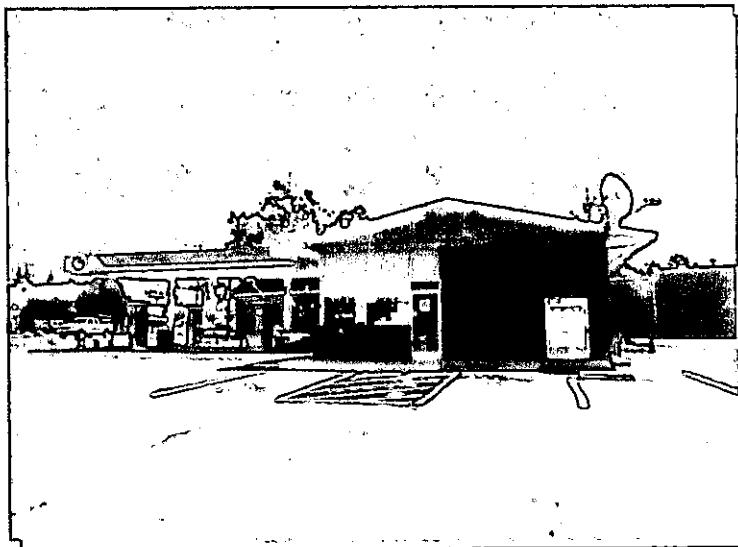
C. N. CARRINGTON'S SUBDIVISION
ROSELAND, Part of block A

PROJECT LOCATION

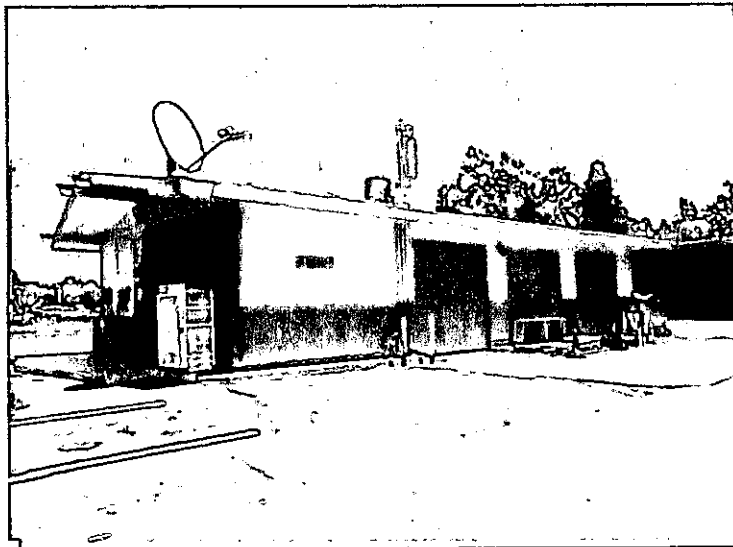




Northwest corner of the property looking southeast

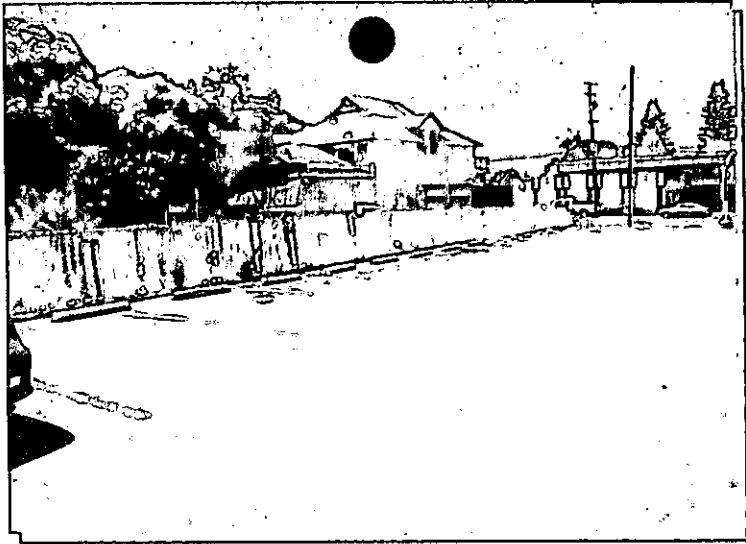


West property line looking east

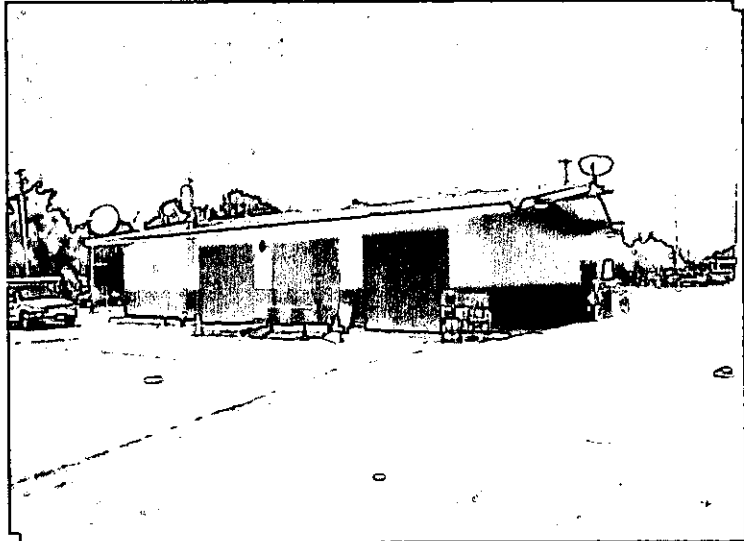


Southwest corner of the property looking northeast

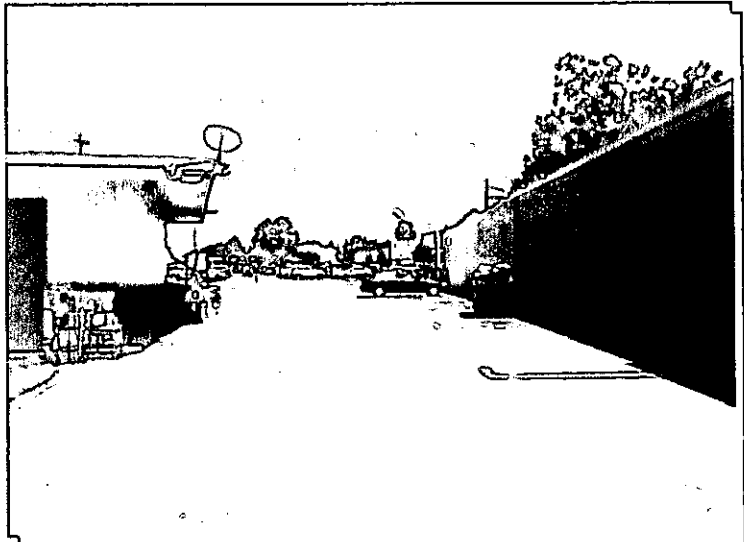
Gawfco Enterprises, Inc.
Food Mart Remodel & Addition
370 Sebastopol Road
Santa Rosa, CA



Southeast corner of the property looking west

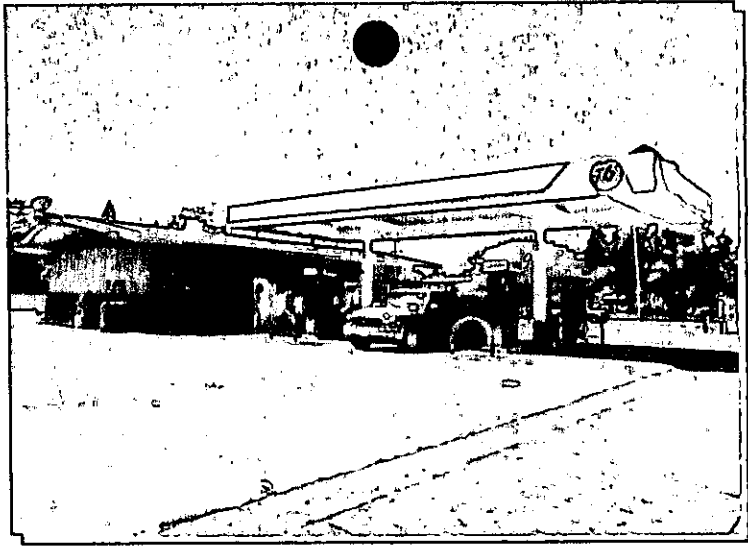


Southeast corner of the property looking northwest

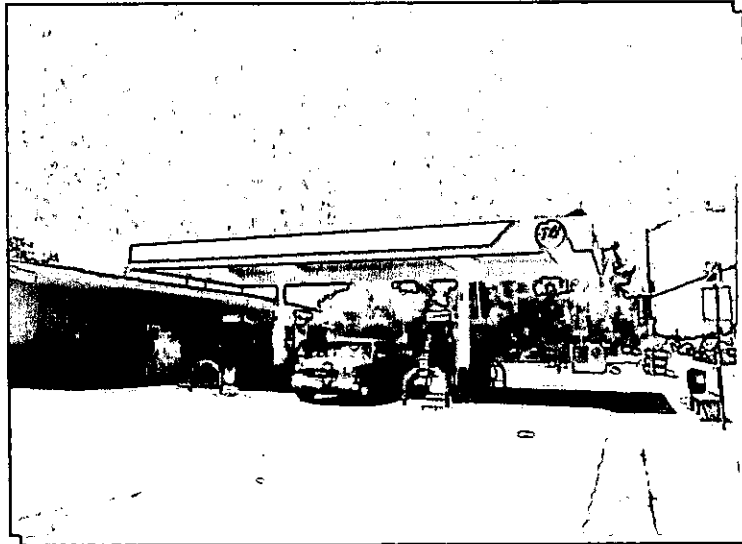


Southeast corner of the property looking north

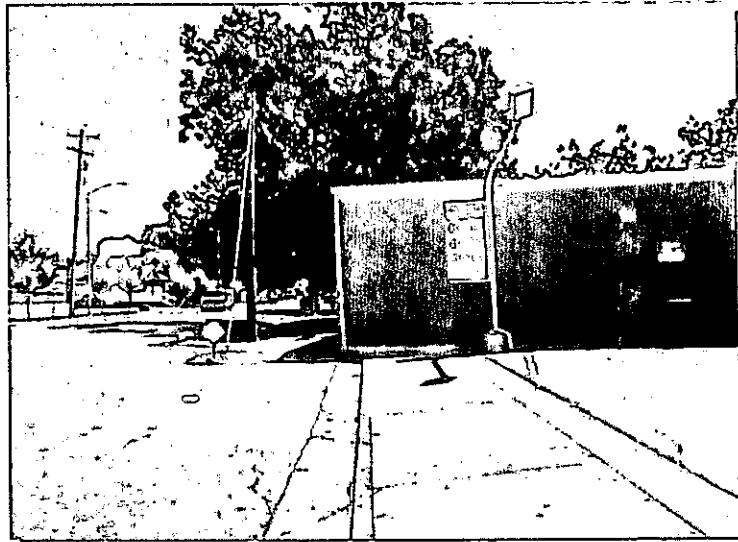
Gawfco Enterprises, Inc.
Food Mart Remodel & Addition
370 Sebastopol Road
Santa Rosa, CA



Northeast corner of the property looking southwest



Northeast corner of the property looking west



North property line looking east

Gawco Enterprises, Inc.
Food Mart Remodel & Addition
370 Sebastopol Road
Santa Rosa, CA



COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 565-1900 FAX (707) 565-1103

August 27, 2009

Muthana Ibrahim
2960 Camino Diablo, #100
Walnut Creek Ca 94597

Re: ADR09-0033, 370 Sebastopol Road

The Permit Division of the Sonoma County Permit and Resource Management Department has reviewed and approved your administrative design review application for a gasoline service station addition. Your project, as conditioned, has been found to be consistent with County Design Guidelines. This approval is contingent on compliance with the attached Exhibit A conditions of approval. You may now proceed to obtain other necessary clearances for issuance of your building permit.

You must develop your site in accordance with the approved plans and conditions of approval.

Please contact me if you have any questions.

Sincerely,

Blake Hillegas
Blake Hillegas
Project Planner

:Gawfco Enterprises, Inc., 587 Ygnacio Valley Road, Walnut Creek, CA 94596

EXHIBIT A
COUNTY OF SONOMA ADMINISTRATIVE DESIGN REVIEW
Conditions of Approval

File Number: ADR09-0033
Applicant: Muthana Abraham
Planner: Blake Hillegas

Address: 370 Sebastopol Road
APN: 125-172-040

Approved with Conditions

BUILDING INSPECTION:

Clearance Received For Permit Issuance - By: _____ Date: _____

1. All applicable permits must be obtained from Building Inspection prior to commencing site development or construction. All existing tenant space improvements must be legalized.
2. This project shall meet all State of California accessibility requirements subject to the review and approval of the Building Division prior to initiation of the approved use and/or as a part of new construction or remodeling of existing facilities. All new construction/retrofitting is subject to the prior review and approval of building permits.

PLANNING:

Clearance Received For Permit Issuance - By: _____ Date: _____

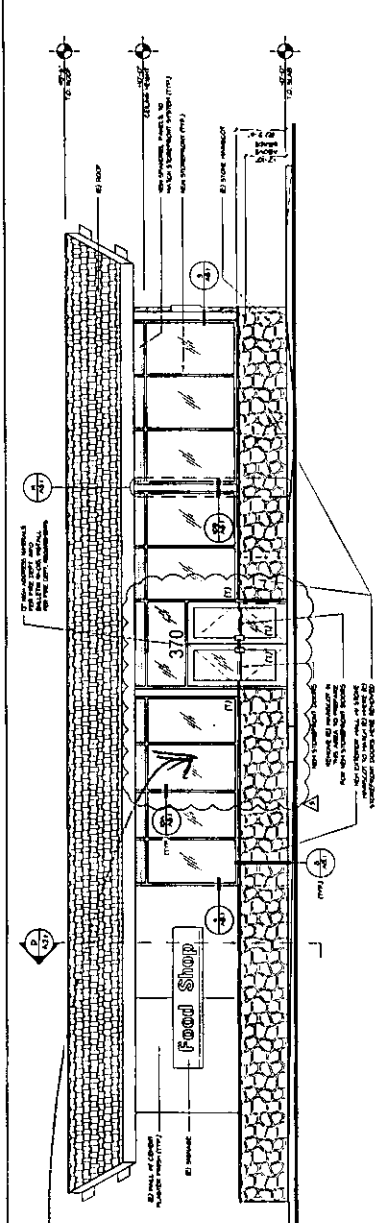
3. All applicable county development fees shall be paid prior to building permit issuance and start-up of the use.
4. Comply with all federal, state, and local codes.
5. Construction hours shall be limited to 7:00 a.m. to 5:00 p.m..
6. The applicant/developer shall be responsible for controlling dust and debris such that dust and debris do not drift or spill over onto adjacent properties or roadways. Dust, odors or debris nuisance may, at the discretion of the Permit and Resource Management Department, result in the issuance of a Stop Work Order, or abatement proceedings being initiated.
7. This approval does not authorize alcohol sales at this establishment, which would require a separate use permit.
8. Prior to Building Permit Issuance, the applicant shall demonstrate compliance the Uniform Fire Code, including, but not limited to, emergency vehicle access, address visibility, and flammable/hazardous materials storage.
9. No new signs, canopy lighting, or pump top lighting are authorized with this permit.
10. Exterior lighting is required to be fully shielded and directed downward. No off-site trespass of light onto adjoining properties or into the night sky shall be permitted. No flood lighting shall be used.
11. The design and location of the approved trash enclosure structures shall be included in the final design review plans and drawings submitted for a Building Permit.

12. A minimum of two bicycle parking spaces shall be installed near the building and shall be shown on the final design review plans and drawings submitted for a Building Permit.
13. The landscape plans shall include substantial shrub planting along the south property line.
14. The landscape and irrigation plan shall be constructed in accordance with the approved plans and maintained in perpetuity.
15. Prior to Final Inspection or occupancy of the building, the applicant shall provide to the Permit and Resource Management Department, a written statement signed by the Landscape Architect, who prepared the construction documents for the landscape planting and irrigation improvements, verifying that the landscape planting and irrigation improvements have been installed in accordance with the approved drawings.
16. All working drawings shall conform to the designs approved by the County. Working drawings shall be submitted to the County Permit and Resource Management Department to review conformance prior to issuance of a building permit. Working drawings that conform to approved designs will be stamped approved for construction by the Permit and Resource Management Department.
17. The applicant shall include these conditions of approval on a separate sheet(s) of blueprint plan sets to be submitted for building and grading permit applications.
18. This permit shall expire two (2) years after approval unless project construction has commenced within said two (2) year period.

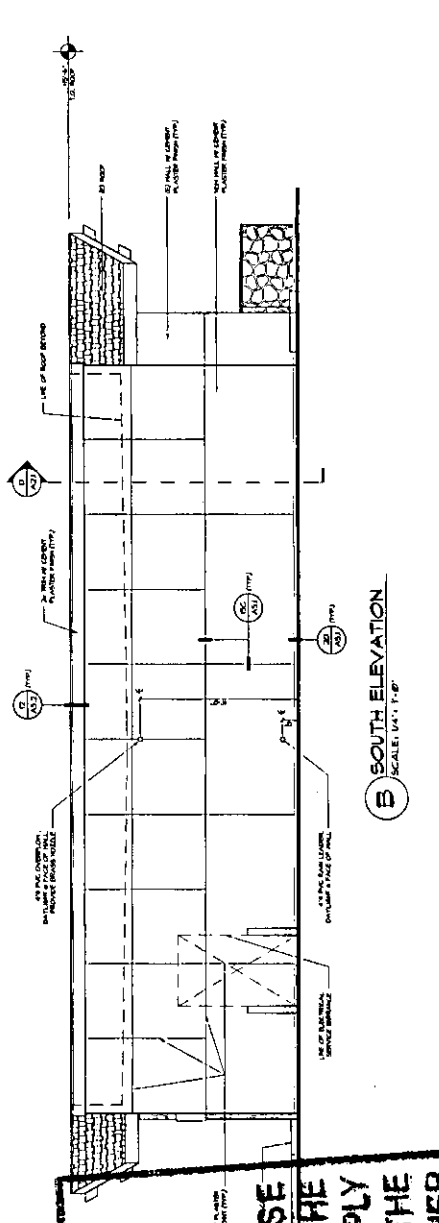
GAMCO ENTERPRISES INC.
FOOD MART REMODEL & ADDITION
370 SEBASTOPOL ROAD
SANTA ROSA, CALIFORNIA



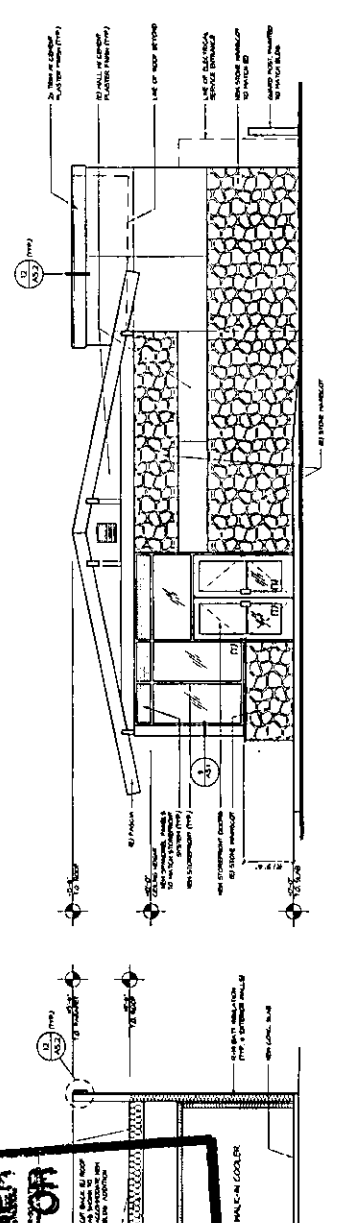
BUILDING ELEVATIONS	
PROJECT NO.	09-007
DATE	08/11/09
SCALE	AS SHOWN, DATE CHANGE



A NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



B SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



C WEST ELEVATION
 SCALE: 1/4" = 1'-0"

OK
B. Lake Hillegas
 11-13-09

ZONING APPROVAL
 WORK INDICATED ON THESE DRAWINGS IS APPROVED ON THE BASIS THAT ALL WORK WILL COMPLY WITH ALL REQUIREMENTS OF THE COUNTY OF SONOMA, WHETHER SHOWN ON THESE DRAWINGS OR NOT.

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

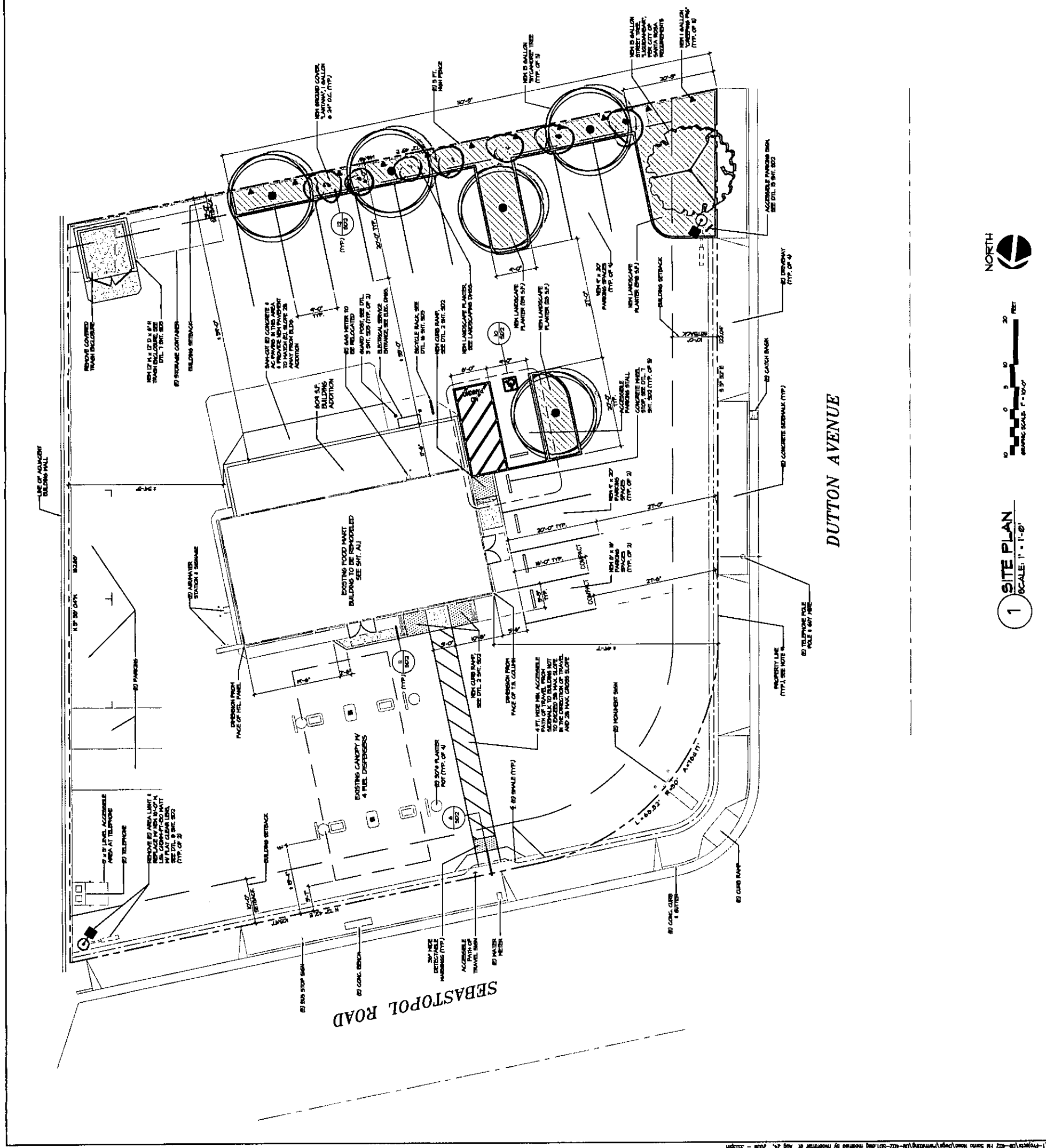
D BUILDING SECTION
 SCALE: 1/4" = 1'-0"

SITE PLAN NOTES

1. THE INFORMATION REGARDING THIS SITE PLAN WAS OBTAINED FROM A SITE PLAN PROVIDED BY THE CLIENT. PROPERTY LINE SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE PROPERTY LINE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS & DIMENSIONS SHOWN ON THE PLANS AND VERIFY ALL SITE WORK TO BE DONE PRIOR TO COMMENCING WORK. IN CASE OF DISCREPANCY, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK.
2. IF REQUIRED BY THE COUNTY OF SONOMA, GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AN ENCROACHMENT PERMIT FOR ANY OFF-SITE IMPROVEMENT WORK.
3. NEW CONCRETE & ASPHALT PAVING WORK SHALL MATCH THE EXISTING GRADE AT THE LIMITS OF WORK.
4. CONTRACTOR SHALL CLEAN ALL EXTERIOR SURFACES OF GRAFFITI AND REPAIR AS NECESSARY, (IF APPLICABLE)
5. SEPARATE CONTRACTS FOR SUCH WORK AS PAVING, LANDSCAPING AND SIGN INSTALLATION SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE PROPERTY LINE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS & DIMENSIONS SHOWN ON THE PLANS AND VERIFY ALL SITE WORK TO BE DONE PRIOR TO COMMENCING WORK. IN CASE OF DISCREPANCY, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES AND SHALL PROTECT THEM FROM DAMAGE IN THE FIELD. THE CONTRACTOR SHALL CALL USA TOLL FREE AT 800-443-2444. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL PROTECT THEM FROM DAMAGE BY CONTRACTORS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT.
7. CONTRACTOR SHALL PROVIDE APPROVED PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE CODES. LOCAL FIRE CODES ARE APPLICABLE TO ALL PORTABLE LOCAL FIRE CODES. LOCAL FIRE CODES ARE APPLICABLE TO ALL PORTABLE LOCAL FIRE CODES. LOCAL FIRE CODES ARE APPLICABLE TO ALL PORTABLE LOCAL FIRE CODES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS, WELLS, SURVEY MONUMENTS, AND OTHER SURVEY MARKERS DURING CONSTRUCTION. SHOULD SAID ITEMS BE DAMAGED/DISTROYED DURING CONSTRUCTION THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
9. EXTERIOR CONCRETE SHALL BE 4" MINIMUM THICKNESS REINFORCED UO/L. NEW CONCRETE PAVING TO BE SEALED ENTIRELY WITH C-1 COATING MB-20 ACRYLIC-SEAL. ALL CONCRETE JOINTS AS APPROVED BY OWNER.
10. FOR CONCRETE EXPANSION AND CONTROL JOINTS, SEE DETAIL 19 AND 14 SHEET 502.
11. DRIVINGS SHOULD NOT BE SCALED. NTS INDICATES 'NOT TO SCALE' AND THE LISTED DIMENSION SHALL GOVERN.
12. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF ALL PERSONS ON THIS PROJECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE PROPERTY LINE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS & DIMENSIONS SHOWN ON THE PLANS AND VERIFY ALL SITE WORK TO BE DONE PRIOR TO COMMENCING WORK. IN CASE OF DISCREPANCY, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK.
13. LEVEL ACCESSIBLE AREA SHALL NOT HAVE A SLOPE GREATER THAN (2%) IN ANY DIRECTION.
14. ACCESSIBLE ROUTE SHALL BE SLIP-RESISTANT & COMPLY W/ CBC 2007 SEC. 103.04.1.
15. ACCESSIBLE PATH OF TRAVEL TO THE FUEL DISPENSERS SHALL NOT EXCEED 5% SLOPE MAX IN THE DIRECTION OF TRAVEL & 2% MAX CROSS SLOPE. SEE NOTE #4.
16. ACCESSIBLE PARKING STALL & ACCESSIBLE AT PASSENGER LOADING ZONE SHALL BE LEVEL WITH A SURFACE SLOPE NOT EXCEEDING (2%) SLOPE IN ANY DIRECTION. CONTRACTOR TO PATCH-UP EXISTING PAVEMENT AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL ENGINEER PROPER SURFACE DRAINAGE AS NEEDED. MATTER PONDING IS NOT ACCEPTABLE.
17. ACCESSIBLE ROUTE OF TRAVEL FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING STALL TO ACCESSIBLE BLDG. ENTRANCE SHALL NOT EXCEED 5% SLOPE MAX IN THE DIRECTION OF TRAVEL & 2% MAX CROSS SLOPE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL PROTECT THEM FROM DAMAGE BY CONTRACTORS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT.
18. EXTERIOR LIGHTING IS REQUIRED TO BE FULLY SHIELDED AND DIRECTED DOWNWARD. NO OFF-SITE TRESPASS OF LIGHT ONTO ADJACENT PROPERTIES OR INTO THE NIGHT SKY SHALL BE PERMITTED. NO FLOOD LIGHTING SHALL BE USED.

SITE PLAN LEGEND

- NEW LANDSCAPING, SEE LANDSCAPE DWGS.
- NEW CONCRETE PAVING
- 4 FT. WIDE (MIN) ACCESSIBLE ROUTE OF TRAVEL SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
- NEW CONCRETE CURBS
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED



DUTTON AVENUE

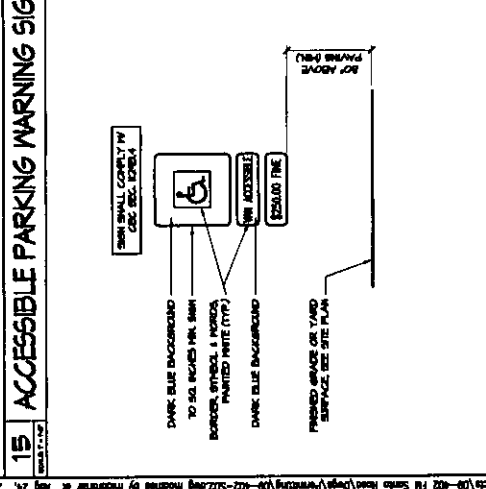
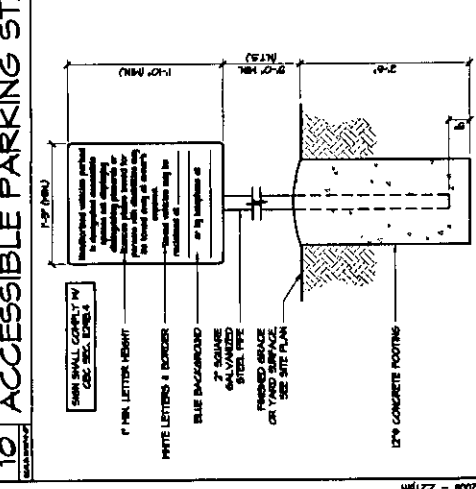
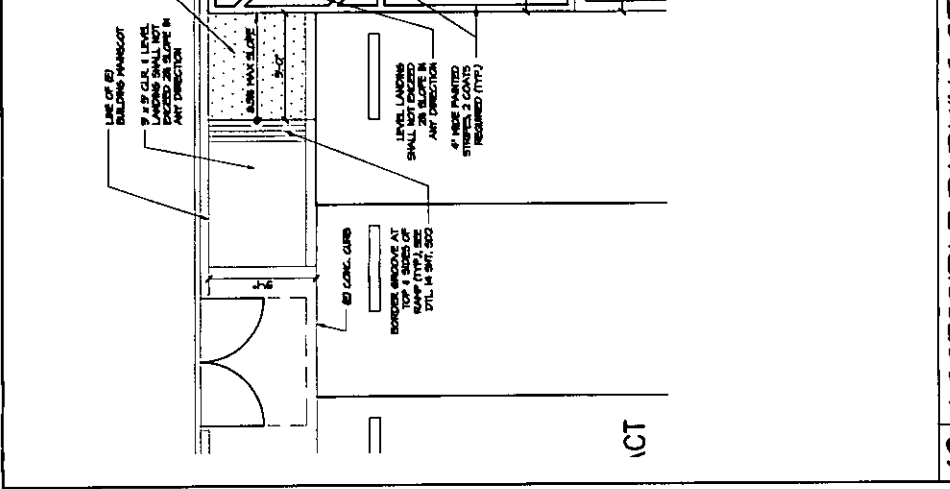
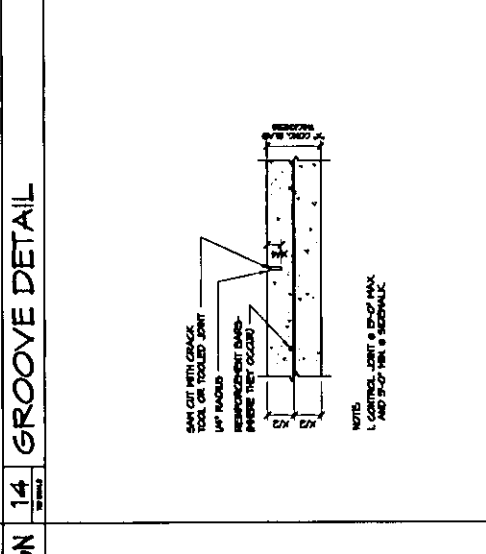
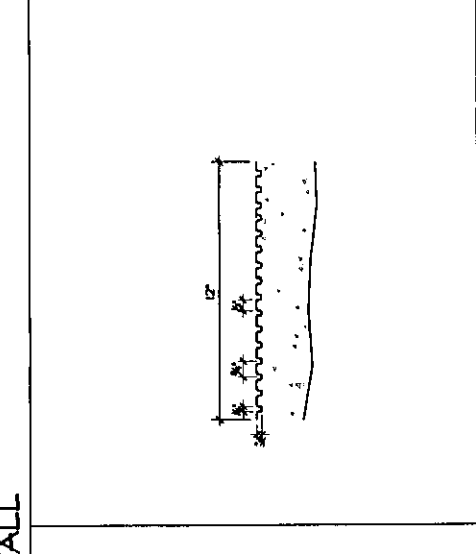
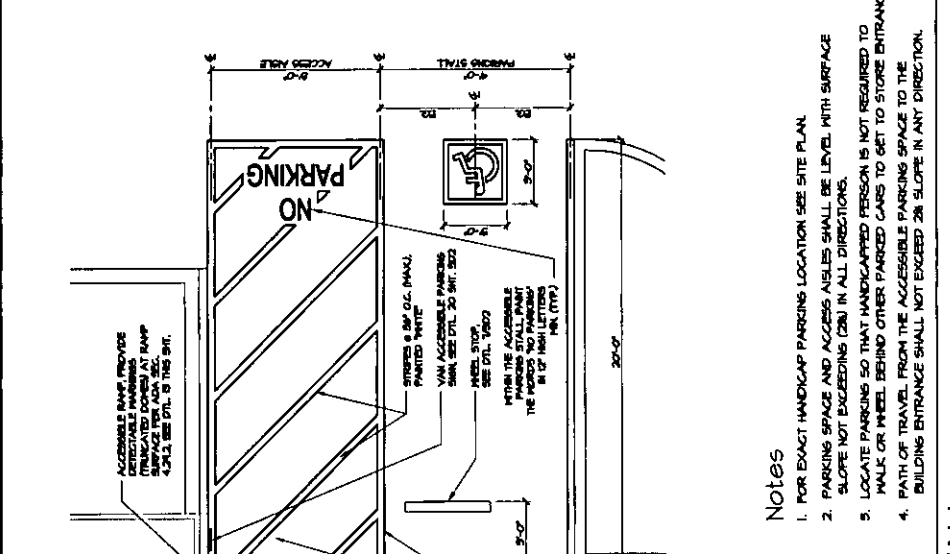
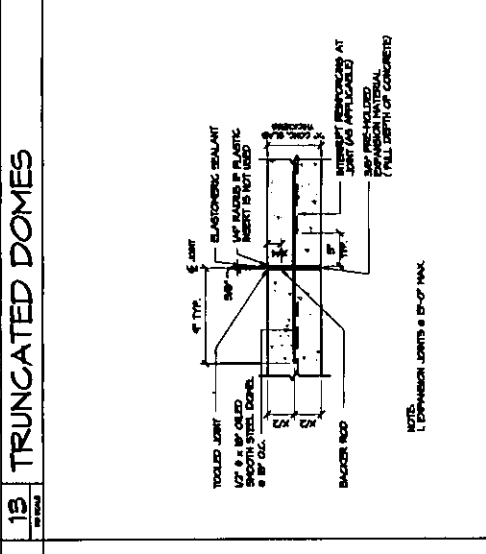
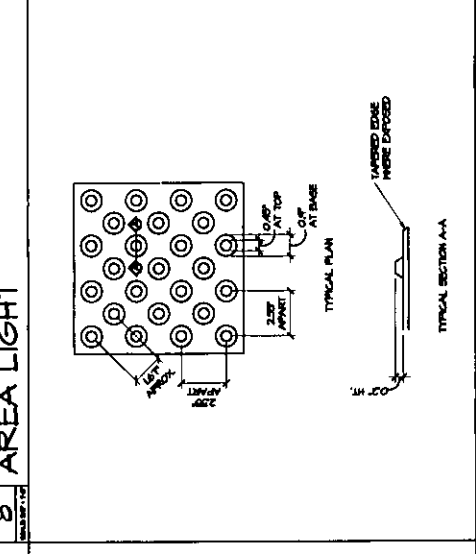
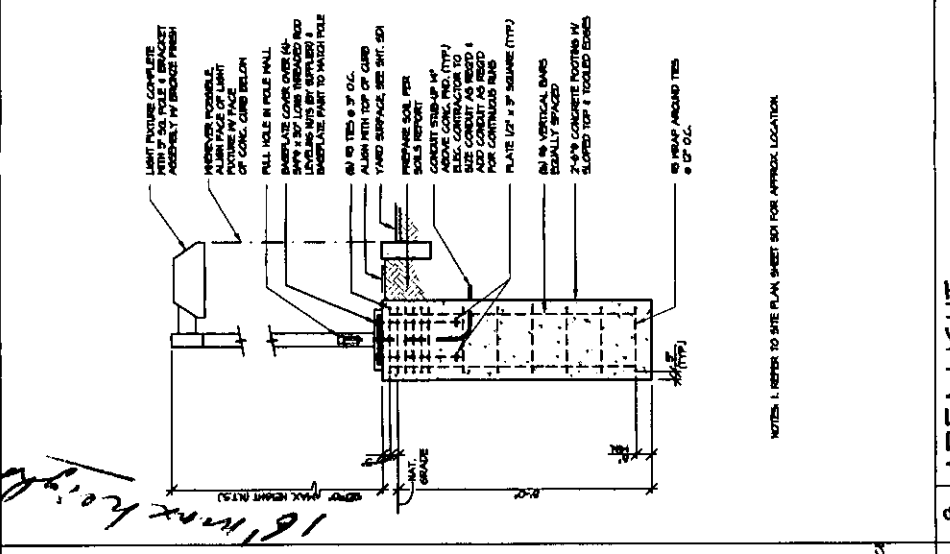
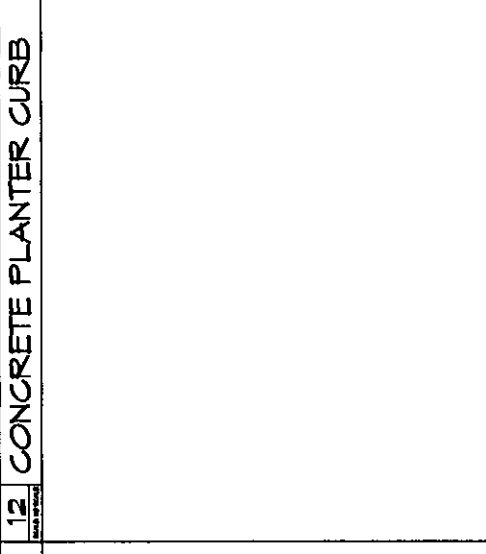
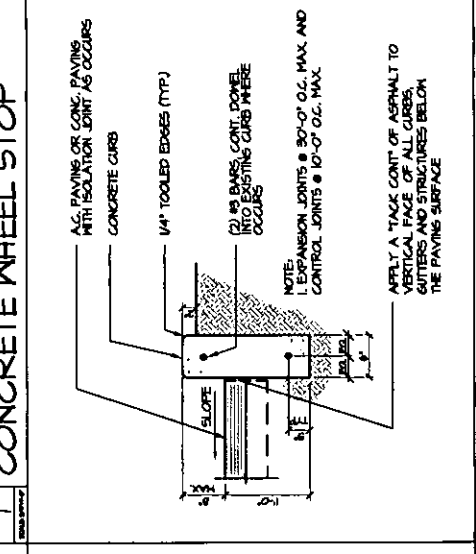
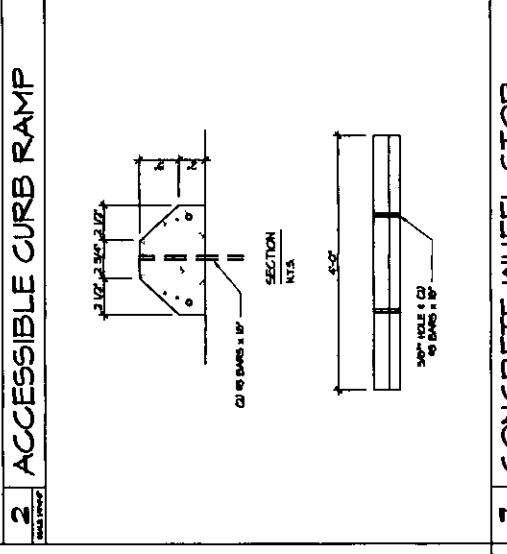
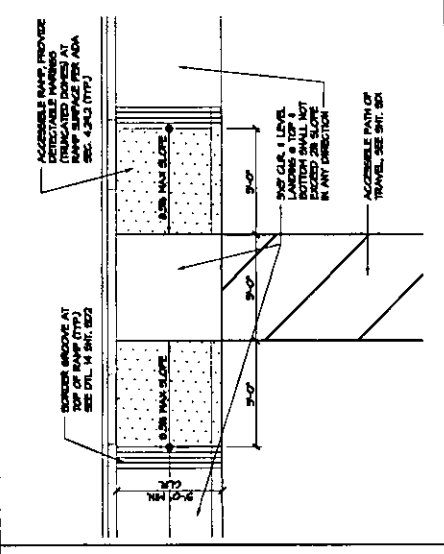
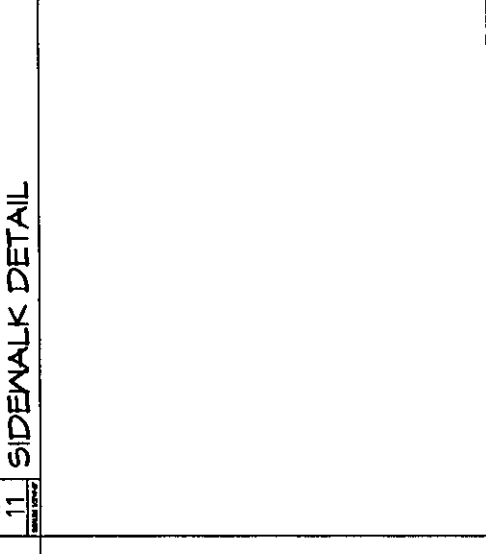
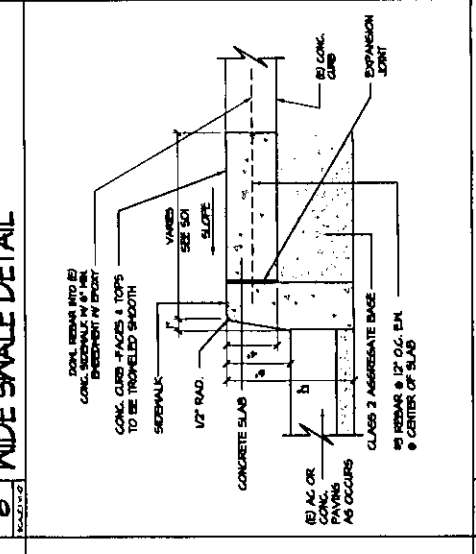
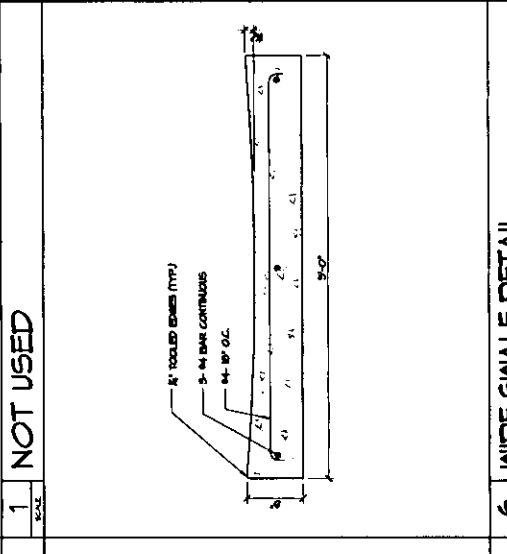
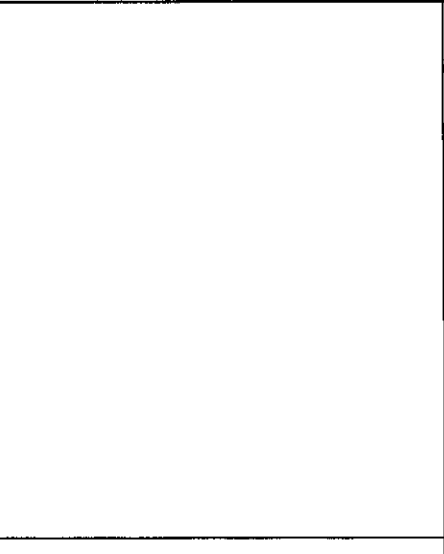


1 SITE PLAN
SCALE: 1" = 1'-0"



NO. DATE DESCRIPTION
1 08-1-04 REMODEL PER CLIENT REQUEST
2 08-1-04 REMODEL PER CLIENT REQUEST
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4 08-1-04 REMODEL PER CLIENT REQUEST
5 08-1-04 REMODEL PER CLIENT REQUEST
6 08-1-04 REMODEL PER CLIENT REQUEST
7 08-1-04 REMODEL PER CLIENT REQUEST
8 08-1-04 REMODEL PER CLIENT REQUEST
9 08-1-04 REMODEL PER CLIENT REQUEST
10 08-1-04 REMODEL PER CLIENT REQUEST
11 08-1-04 REMODEL PER CLIENT REQUEST
12 08-1-04 REMODEL PER CLIENT REQUEST
13 08-1-04 REMODEL PER CLIENT REQUEST
14 08-1-04 REMODEL PER CLIENT REQUEST
15 08-1-04 REMODEL PER CLIENT REQUEST
16 08-1-04 REMODEL PER CLIENT REQUEST
17 08-1-04 REMODEL PER CLIENT REQUEST
18 08-1-04 REMODEL PER CLIENT REQUEST
19 08-1-04 REMODEL PER CLIENT REQUEST
20 08-1-04 REMODEL PER CLIENT REQUEST

SITE DETAILS
 PROJECT N. CR-102
 DRAWN BY: M1
 CHECKED BY: M1
 SCALE AS NOTED DATE: OTHER



- Notes**
- FOR EXACT HANDICAP PARKING LOCATION SEE SITE PLAN.
 - PARKING SPACE AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPE NOT EXCEEDING (2%) IN ALL DIRECTIONS.
 - LOCATE PARKING SO THAT HANDICAPPED PERSON IS NOT REQUIRED TO WALK OR WHEEL BEHIND OTHER PARKED CARS TO GET TO STORE ENTRANCE.
 - PATH OF TRAVEL FROM THE ACCESSIBLE PARKING SPACE TO THE BUILDING ENTRANCE SHALL NOT EXCEED 20' SLOPE IN ANY DIRECTION.



NO.	DATE	DESCRIPTION
1	07-10-08	ISSUED FOR CONSTRUCTION
2	08-01-08	ISSUED FOR PLAN CHECK
3	08-01-08	ISSUED FOR PERMITS

FLOOR PLAN SCHEDULES
 & NOTES
 PROJECT # 07-402
 DRAWN BY CAROLAN, PH
 SCALES AS NOTED DATE: 07-08

A1.1

SHEET

DOOR SCHEDULE

MARK	QTY	TYPE	SIZE	FINISH	REMARKS
1	3	ALUMINUM SLIDING GLASS	8'-0" x 7'-0" (FINISH)	VERTICAL	GLASS TO BE TYPED
2	1	NOT USED			
3	2	IN SWING	1'-6" x 6'-0" (FINISH)	INTERNAL	D
4	1	IN SWING	1'-6" x 6'-0" (FINISH)	INTERNAL	B
5	1	SLIDING GLASS	8'-0" x 7'-0" (FINISH)	VERTICAL	BY COOLER FRAM.

DOOR HARDWARE

GROUP	EQUIPMENT	SPECIFICATION
A	LOCKS HANDLES KNOBS OTHER	1. ALL HARDWARE SHALL BE 304 STAINLESS STEEL UNLESS OTHERWISE NOTED. 2. ALL HARDWARE SHALL BE 1 1/2" HIGH UNLESS OTHERWISE NOTED. 3. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 4. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 5. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 6. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 7. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 8. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 9. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 10. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 11. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 12. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 13. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 14. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 15. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 16. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 17. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 18. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 19. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 20. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 21. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 22. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 23. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 24. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 25. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 26. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 27. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 28. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 29. ALL HARDWARE SHALL BE 1 1/2" LONG UNLESS OTHERWISE NOTED. 30. ALL HARDWARE SHALL BE 1 1/2" WIDE UNLESS OTHERWISE NOTED. 31. ALL HARDWARE SHALL BE 1 1/2" DEEP UNLESS OTHERWISE NOTED. 32. 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FLOOR PLAN NOTES

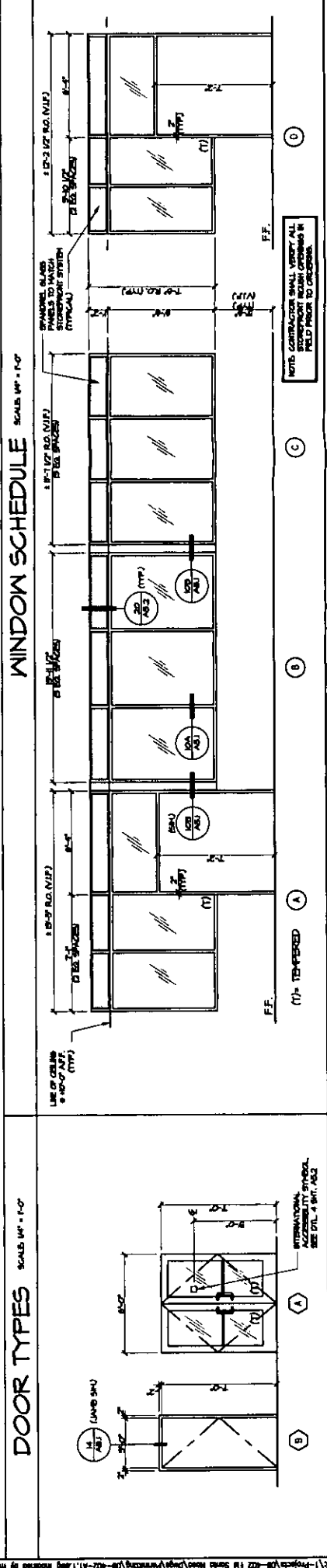
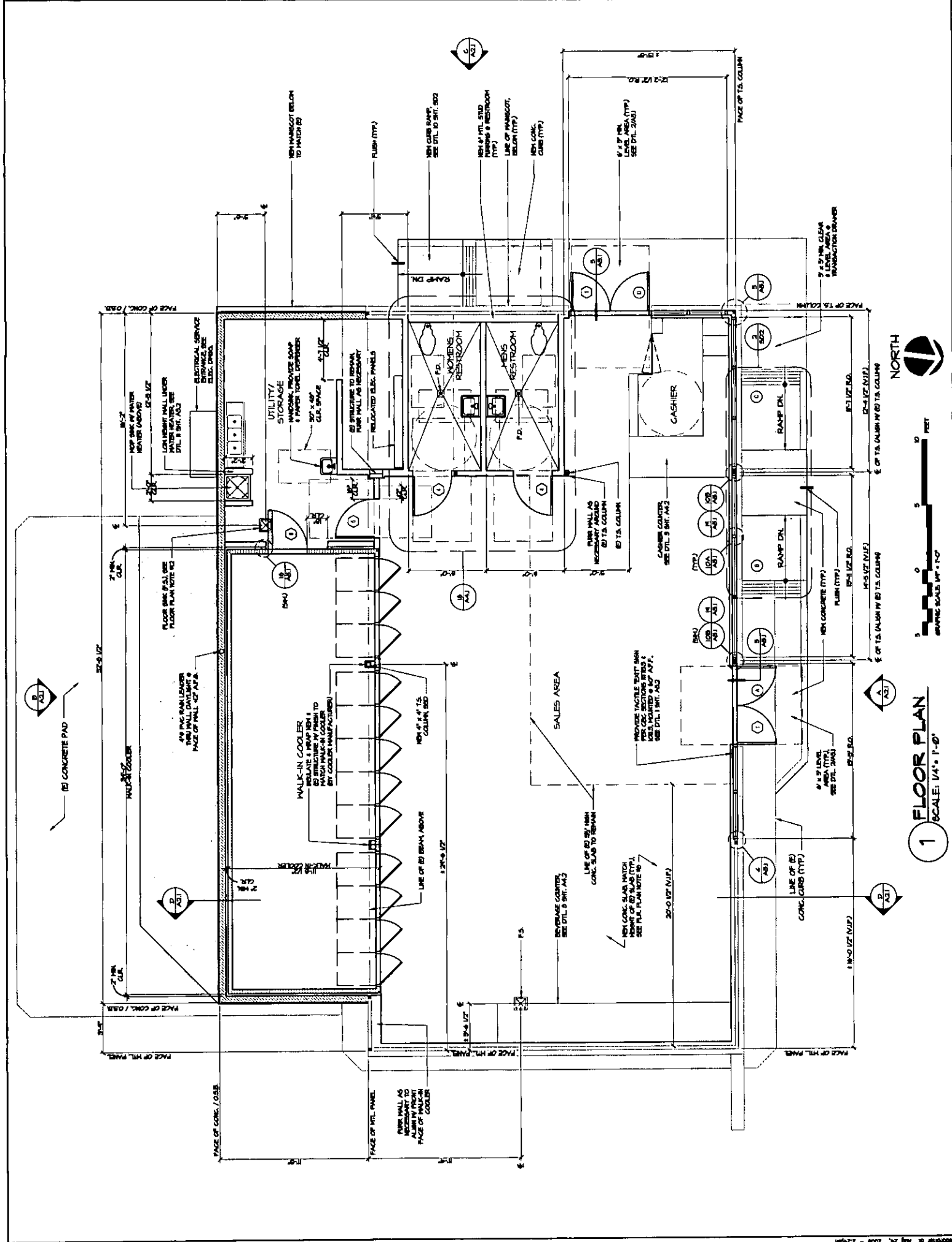
- ALL CABINETS SHOWN ARE OF METAL CONSTRUCTION UNLESS APPROVED BY OTHERS.
- 1/2" MIN. ACOUSTIC BATT INSULATION REQUIRED IN ALL RESTROOM WALLS AND CEILING. ALL EXTERIOR WALLS SHALL COMPLY WITH 1013 OF THE IBC/CBC.
- EXTERIOR WALL DIMENSIONS ARE TO FACE OF T/S COLUMN OR FACE OF METAL PANEL UNLESS OTHERWISE NOTED. ALL EXTERIOR WALL DIMENSIONS ARE TO AND FROM FACE OF FINISH.
- ACCESSIBILITY DESIGN STANDARD, A.D.A. ACCESSIBILITY GUIDELINES & CBC 2009.
- FOR EQUIPMENT PLANS, SEE SHEET A.5. FOR EQUIPMENT SCHEDULES, SEE SHEET A.6.
- ALL PAINTS TO BE PAINTABLE.
- PROVIDE 2-A-UG-8C RATED PORTABLE FIRE EXTINGUISHERS WITHIN A 30-FOOT RADIUS OF EACH OTHER PER CITY OF SANTA ROSA FIRE DEPARTMENT, LOCATIONS AS APPROVED BY THE FIRE MARSHALL.
- CONCRETE SLAB IN 100' x 10' x 8' CENTER OF SLAB. DO NOT INTO (B) SLAB IN 10' x 10' LONG IS REBAR & EMBEDMENT IN EPOXY GROUT @ 10' O.C. (TYP).
- NOT USED.
- ALL FLOOR DOORS, DOOR FRAMES AND HARDWARE ARE AVAILABLE FROM UNIVERSAL MANUFACTURING CO.
- NOT USED.
- ALL FLOOR SINKS SHALL BE FLUSH WITH FLOOR FINISH, AND SHALL BE HALF IN HALF OUT AT COUNTERS / CABINETS.

STOREFRONT NOTES

- STOREFRONT ALUMINUM FRAME AS MANUFACTURED BY VISIONAL, SERIES 3000 PER GLAZING REQUIREMENTS, 7' x 6' CENTER LOADED GLAZING IN CLEAR ANODIZED ALUMINUM FINISH, ALTERNATE TO OTHERS AS APPROVED.
- ALL STOREFRONT GLAZING SHALL BE 1/2" MIN. SOLARBAN 80 (2) CLEAR, 1" THERMAL INSULATED, LOW E GLAZING (OR APPROVED EQUAL) U.G. THERMO GLAZING HERE OCCURS (TYP).
- NOT USED.
- VERIFY ALL WINDOW SIZES IN FIELD PRIOR TO FABRICATION.
- NOT USED.
- GLAZING AND STOREFRONTS SHALL CONFORM TO LOCAL WIND LOAD REPRESENTATIVE GLAZING NATIONAL THEORETICAL AND LABORATORY WIND LOAD DESIGN IS SUBJECT TO CHANGE.
- ONLY FINISH REQUIRED FOR INTERIOR CORNER JOINTS SHALL BE INSTALL TRIT FILM SOUTH-WALLS/TECH INCLUDES FOR EXTREME CLIMATES. INSULATED GLAZING AT ENTRY DOOR SYSTEM AND SURROUND SHALL ALWAYS BE CLEAR WITH NO TRIT FILM.

WALL TYPE LEGEND

1	10'-0" x 10'-0" CONCRETE WALL WITH 1/2" MIN. ACOUSTIC BATT INSULATION @ 10' O.C. ON INTERIOR FACE OF WALL, EXTERIOR FACE OF WALL TO BE TYPED.
2	10'-0" x 10'-0" CONCRETE WALL WITH 1/2" MIN. ACOUSTIC BATT INSULATION @ 10' O.C. ON INTERIOR FACE OF WALL, EXTERIOR FACE OF WALL TO BE TYPED.
3	10'-0" x 10'-0" CONCRETE WALL WITH 1/2" MIN. ACOUSTIC BATT INSULATION @ 10' O.C. ON INTERIOR FACE OF WALL, EXTERIOR FACE OF WALL TO BE TYPED.
4	10'-0" x 10'-0" CONCRETE WALL WITH 1/2" MIN. ACOUSTIC BATT INSULATION @ 10' O.C. ON INTERIOR FACE OF WALL, EXTERIOR FACE OF WALL TO BE TYPED.

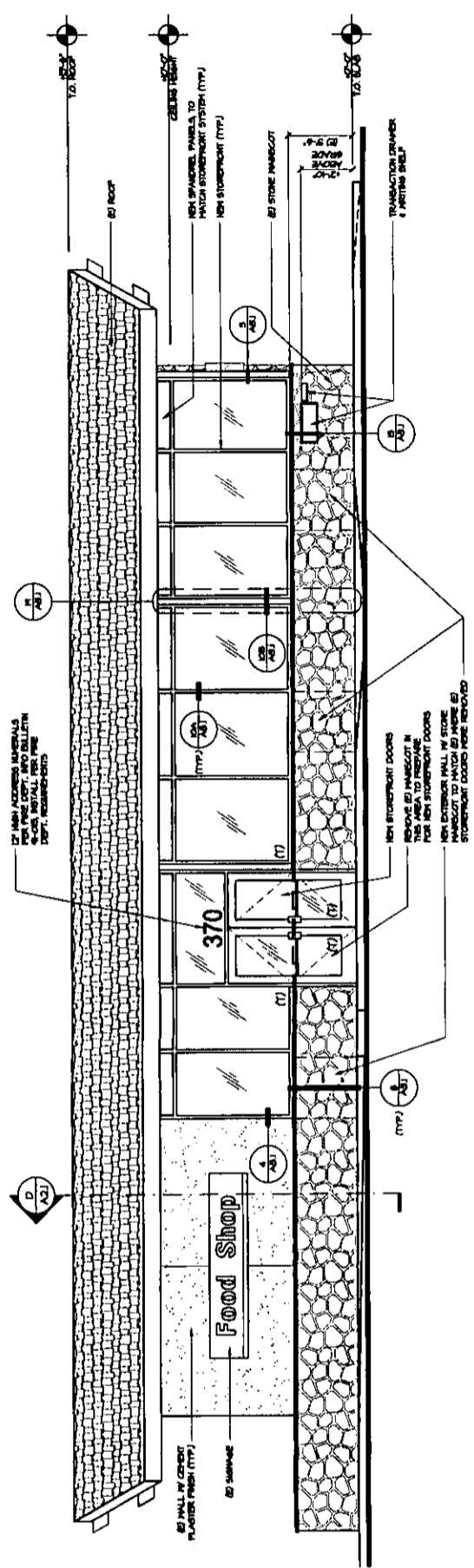




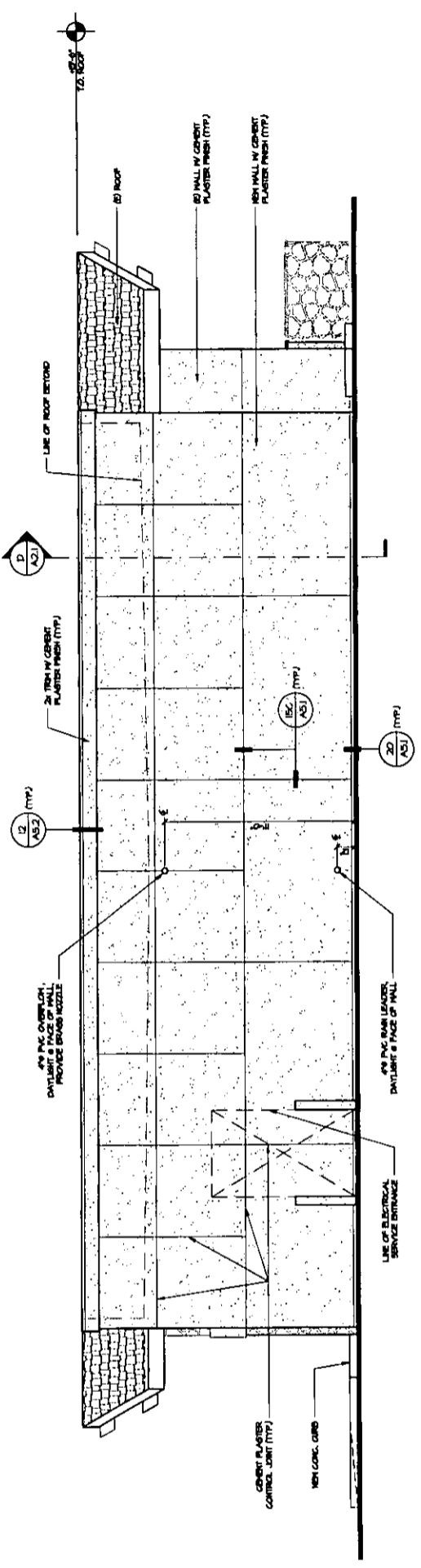
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5	03-10-08	ISSUED FOR PERMITS
6	03-10-08	ISSUED FOR PERMITS
7	03-10-08	ISSUED FOR PERMITS
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9	03-10-08	ISSUED FOR PERMITS
10	03-10-08	ISSUED FOR PERMITS

BUILDING ELEVATIONS

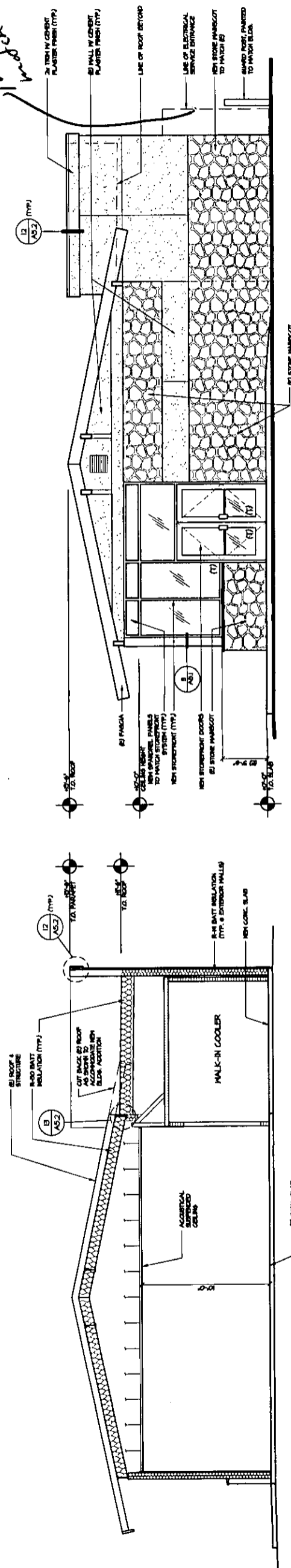
PROJECT N. 08-1402
 DRAWN BY: CHANG, H.
 SCALE AS NOTED DATE: 07-20-08



A NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



B SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



D BUILDING SECTION
 SCALE: 1/4" = 1'-0"

C WEST ELEVATION
 SCALE: 1/4" = 1'-0"