



Type



Plans

ADR 09-0043

Permit Number

14435

Street Number

Hwy 1

Street Name

COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 VENTURA AVENUE, SANTA ROSA, CA 95403-2829
(707) 565-1900 FAX (707) 565-1103

Application Fees / Invoice for: ADR09-0043

Project Address: 14435 HWY 1 TWI

Cross Street: DILLON BEACH RD

APN: 026-010-006

Description: REQUEST FOR DESIGN REVIEW FOR CHANGE OF OCCUPANCY

Printed: Tuesday, October 27, 2009

Initialized by: AWINGFIE

Activity Type: AB-ADR 901

PCAS #:

Owner: COOPER ALVIN
322 POST ST
PETALUMA CA 94952-2658

Applicant: ALVIN COOPER
322 POST STREET
PETALUMA, CA

94952
707-479-2282

Fees:

Item#	Description	Account Code	Tot Fee	Prev. Pmts	Cur. Pmts
1039	DR MINOR ALTERATIONS	025015-3810	203.00	.00	.00
1052	ENV REV CEQA EXEMPT DET	025015-3811	33.00	.00	.00
			\$236.00	\$0.00	

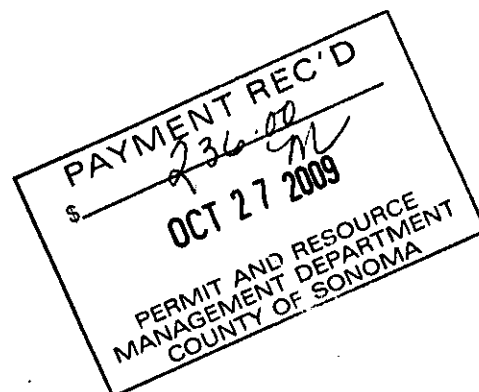
Total Fees: \$236.00

Total Paid: \$0.00

Balance Due: \$236.00

Refunds will not be authorized unless circumstances
comply with established PRMD refund policy provisions.

When validated below, this is your receipt.



10/26/09
NO Vio's Rn

Planning Application

PJR-001

File#: APR 09-0043

Type of Application:

- | | | | |
|--|--|---|--------------------------------------|
| <input type="checkbox"/> Admin Cert. Compliance | <input type="checkbox"/> Design Review Comm./Ind. | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Ag./Timber Preserve | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Mobile Home Zoning Permit | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Cert. of Compliance | <input checked="" type="checkbox"/> Design Review Signs | <input type="checkbox"/> Ordinance Interpretation | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cert. of Modification | <input checked="" type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Second Unit Permit | |
| <input checked="" type="checkbox"/> Coastal Permit | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Specific/Area Plan Amendment | |
| <input checked="" type="checkbox"/> Design Review Admin. | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Use Permit | |

Applicant (Contact Person):

Name Alvin Cooper
Mailing Address 322 Post St
Petaluma CA 94952
City/Town Petaluma State CA Zip 94952
Phone (707) 479-2282 Fax (707) 778-6000
email Alvin
Signature Alvin Date 10/26/09

Owner, if other than Applicant:

Name _____
Mailing Address _____
City/Town _____ State _____ Zip _____
Phone _____ Fax _____
email _____
Signature _____ Date _____

Other Persons to be Notified: (Specify: Other Owner(s), Agent, Lender, Architect, Engineer, Surveyor)

Name <u>Alvin Cooper</u>	Name _____	Name _____
Mailing Address <u>322 Post St</u>	Mailing Address _____	Mailing Address _____
<u>Petaluma CA 94952</u>	City/Town _____ State _____ Zip _____	City/Town _____ State _____ Zip _____
City/Town <u>Petaluma</u> State <u>CA</u> Zip <u>94952</u>	City/Town _____ State _____ Zip _____	City/Town _____ State _____ Zip _____
Title <u>OWNER</u>	Title _____	Title _____
Phone <u>707 479-2282</u>	Phone _____ Fax _____	Phone _____ Fax _____
Fax _____	email _____	email _____

Project Information:

Address(es) 14435 Hwy 1 Valley Ford CA City/Town Valley Ford CA
Assessor's Parcel Number(s) 026-010-006 Acreage _____
Project Description: New Signage
(Please attach additional sheet(s) if needed)
Site Served by Public Water? ☐ Yes ☒ No Site Served by Public Sewer? ☐ Yes ☒ No Number of new lots proposed 0

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

Planning Area: 1 Supervisorial District: 5 Current Zoning: CS CC SR General Plan Land Use: LC
Specific Plan: Local Coastal S.P. Land Use: _____ Needs CEQA Review? ☐ yes ☒ no

Commercial/Industrial Uses: (Enter numbers where applicable)

Bldg. sq. ft. Existing: _____ Proposed: _____ Existing Employees: _____ New Employees: _____
New Manufactured Homes: _____ New Units For Sale: _____ New Units For Rent: _____ Density Bonus Units: _____
Violation? ☐ yes ☒ no; Application resolve planning violation? ☐ yes ☒ no; Penalty applicable? ☐ yes ☐ no; Civil Penalty Factor N/A

Previous Files: PCP02-0083
Application accepted by Amy Wingfield Date Oct. 27, 2009


Sonoma County Permit and Resource Management Department


2550 Ventura Avenue * Santa Rosa, CA * 95403-2829 * (707) 565-1900 * Fax (707) 565-1103

Indemnification Agreement

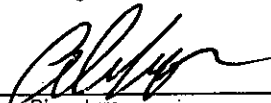
PJR-011

"As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in conjunction with the approval of this application, whether or not there is concurrent passive or active negligence on the part of the County. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect."


Applicant Name Alvin Cooper


Applicant Signature _____

Alvin Cooper
Owner Name _____


Owner Signature _____

Date

ADR09-0043
File No.

NOTE: The purpose of the Indemnification Agreement is to allow the County to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

Sonoma County Permit & Resource Management Department
2550 Ventura Avenue
Santa Rosa, Ca 95403

Re: Proposal Statement For Sonoma Coast Fish Bank

Dear Madam/Sir:

This letter is to explain the proposed use of the former Dairyman's Bank at 14435 Highway One, Valley Ford, Ca, 94972 for Sonoma Coast Fish Bank and Picnic. The Dairyman's Bank was constructed in 1890 and offered banking services to the local ranchers, dairy operators and other residents in the area under various bank ownerships until about three years ago. It has significant history in our area and we wish to offer the opportunity for people to visit the building once again. We would like to open a fresh fish market offering local seafood caught by local fishermen as well as offering picnic supplies. We would use the space as a retail outlet only for fish, prepackaged foods, and picnic merchandise.

The bank building itself is in great condition and there is no need to change the structure in any way. We propose to keep it in its current state and prefer for it to look most like the original Dairyman's bank. Most all changes were cosmetic including painting and installation of a tile floor and the total costs does not exceed \$10,000. The residents of our town seem to be very excited about the possibility of such a beautiful, historic building being open to the public once again. There is no intention of any further construction or modifications of the current structure.

We would also prefer to use existing parking which was previously used by the bank with the addition of an accessible parking space near the existing wheelchair ramp.

Signage would be on the outside front of the building as seen in the attached photograph.

Please consider this unique opportunity to re-introduce a building rich in history to our community and to help support our local fishermen by giving them a new outlet to sale their product.

Sincerely,

Shona Campbell

Sonoma Coast Fish Bank

14435 Highway One

Valley Ford, Ca 94972

707-876-3474

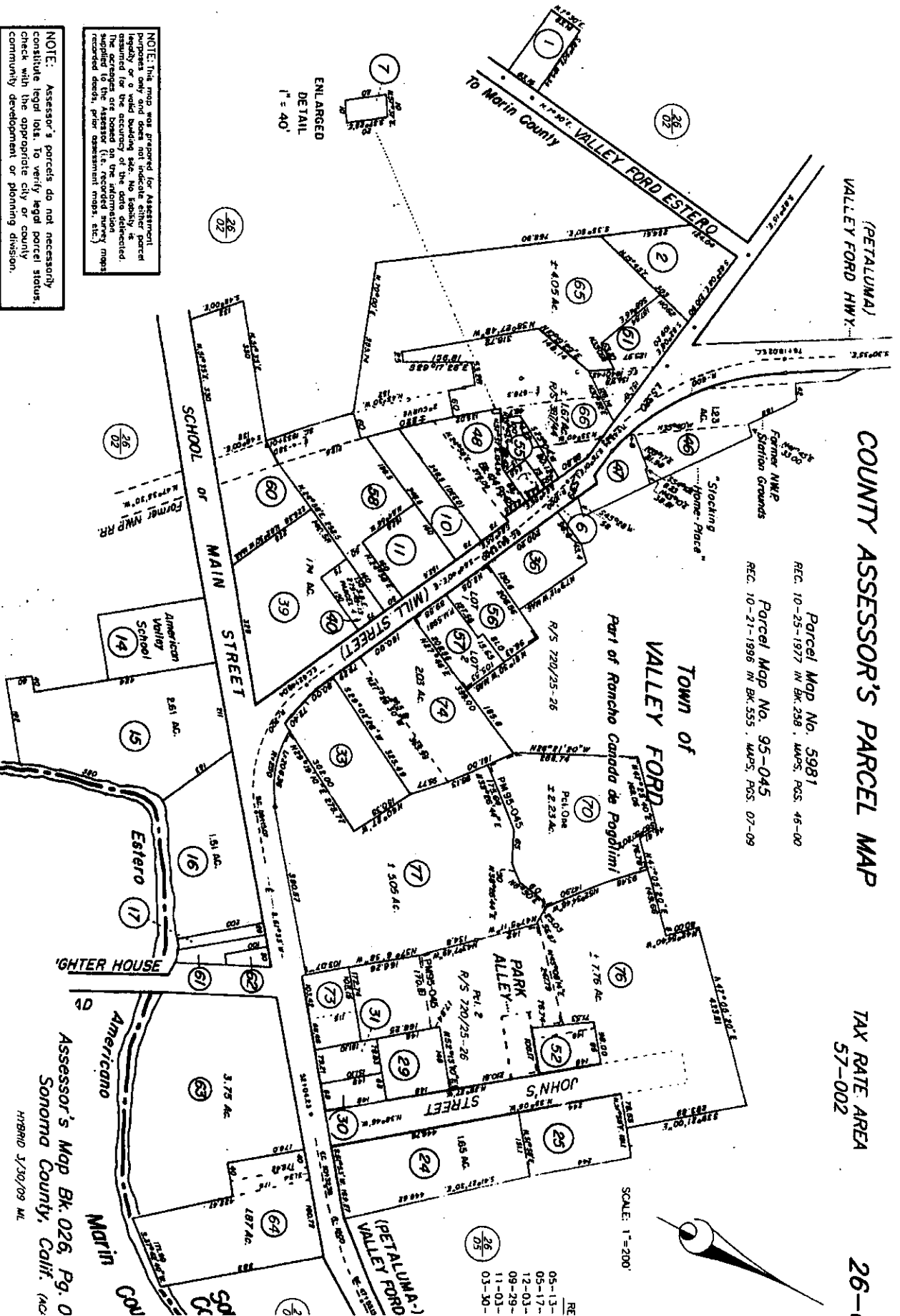
(PETALUMA)
VALLEY FORD HWY.

COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA
57-002

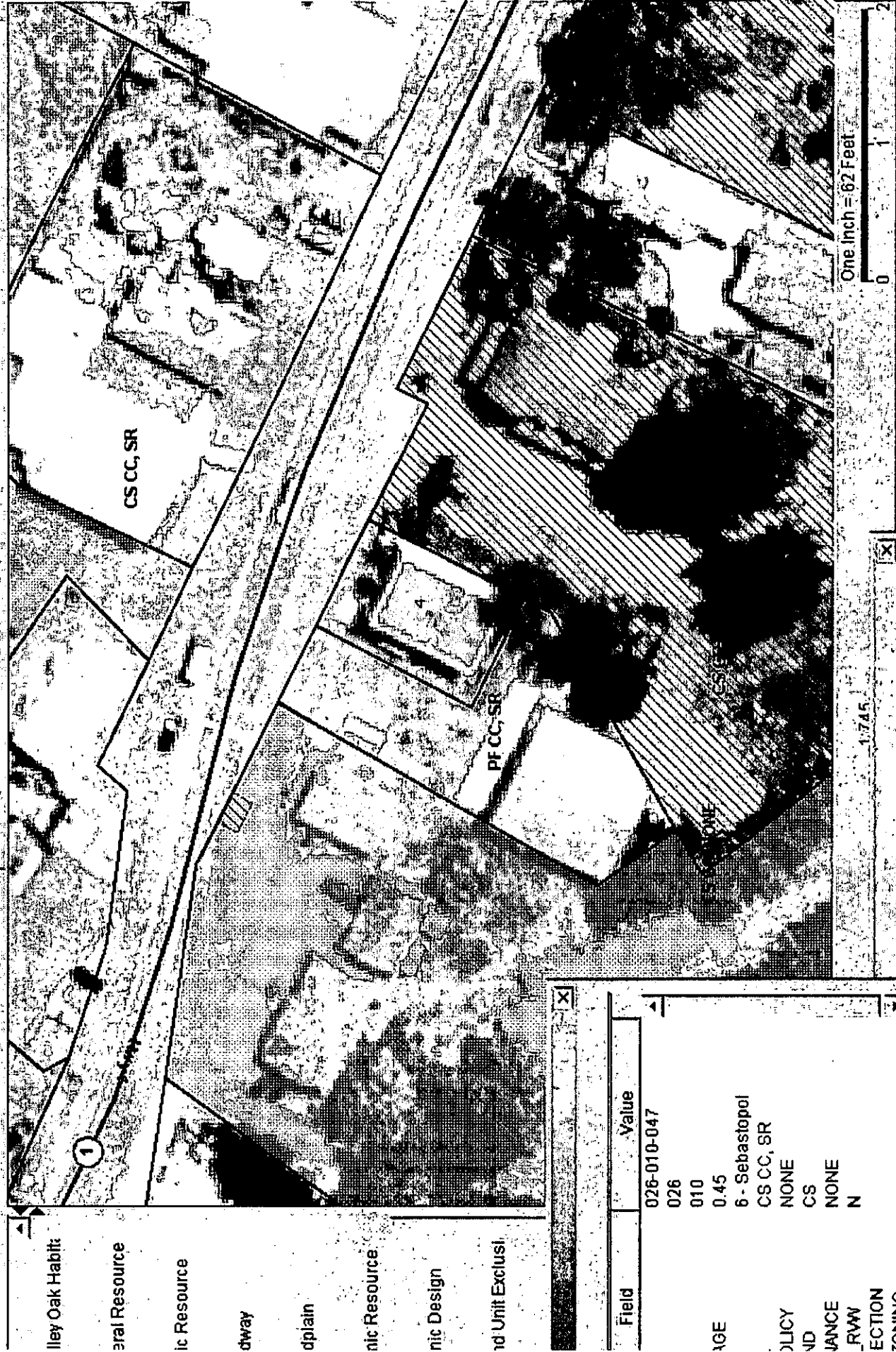
26-1

Parcel Map No. 5981
REC. 10-25-1977 IN BK. 258, W.P.S. PCS. 46-00
Parcel Map No. 95-045
REC. 10-21-1996 IN BK. 555, W.P.S. PCS. 07-09



NOTE: This map was prepared for Assessment purposes only. It is not a legal document. The accuracy of the map is not guaranteed. The assessor is not responsible for any errors or omissions. The map is for informational purposes only. The assessor is not responsible for any errors or omissions. The map is for informational purposes only.

NOTE: Assessor's parcels do not necessarily constitute legal lots. To verify legal parcel status, check with the appropriate city or county community development or planning division.



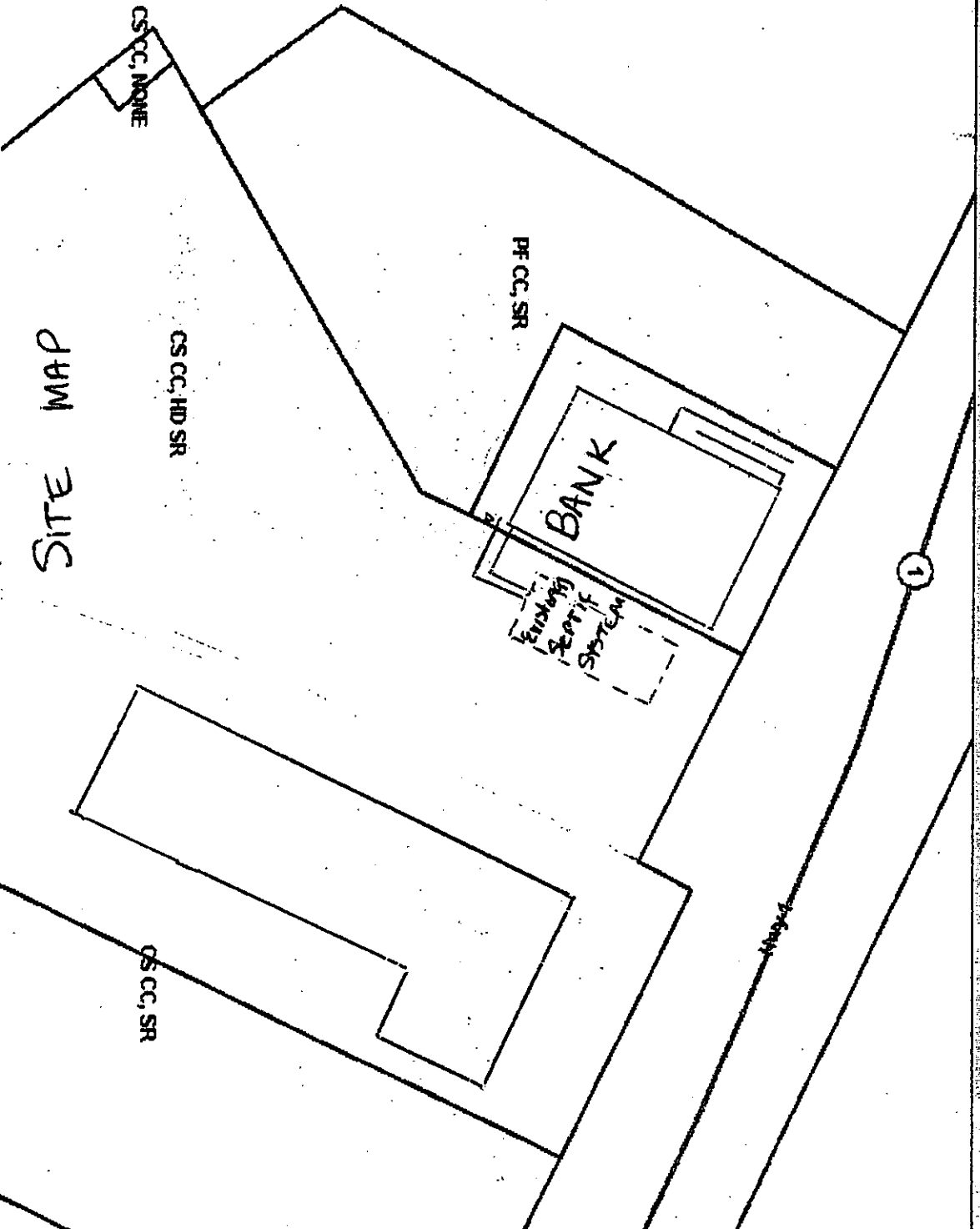
Field	Value
	026-010-047
	026
	010
	0.45
AGE	6 - Sebastopol
	CS CC, SR
	NONE
OLICY	CS
ND	NONE
ANCE	N
_RW	
ECTION	
ZONING	

From: shonac@ffrsi.com
Subject: IMG00110.jpg
Date: October 27, 2009 10:16:48 AM PDT
To: shonac@ffrsi.com, brandong@ffrsi.com
Reply-To: shonac@ffrsi.com
1 Attachment, 541 KB

Sent from my Verizon Wireless BlackBerry

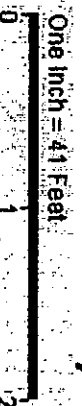


4' x 6'
24" x 63"



393,768

1,407



8862, SR

SITE MAP

ArtExplorer 9.0

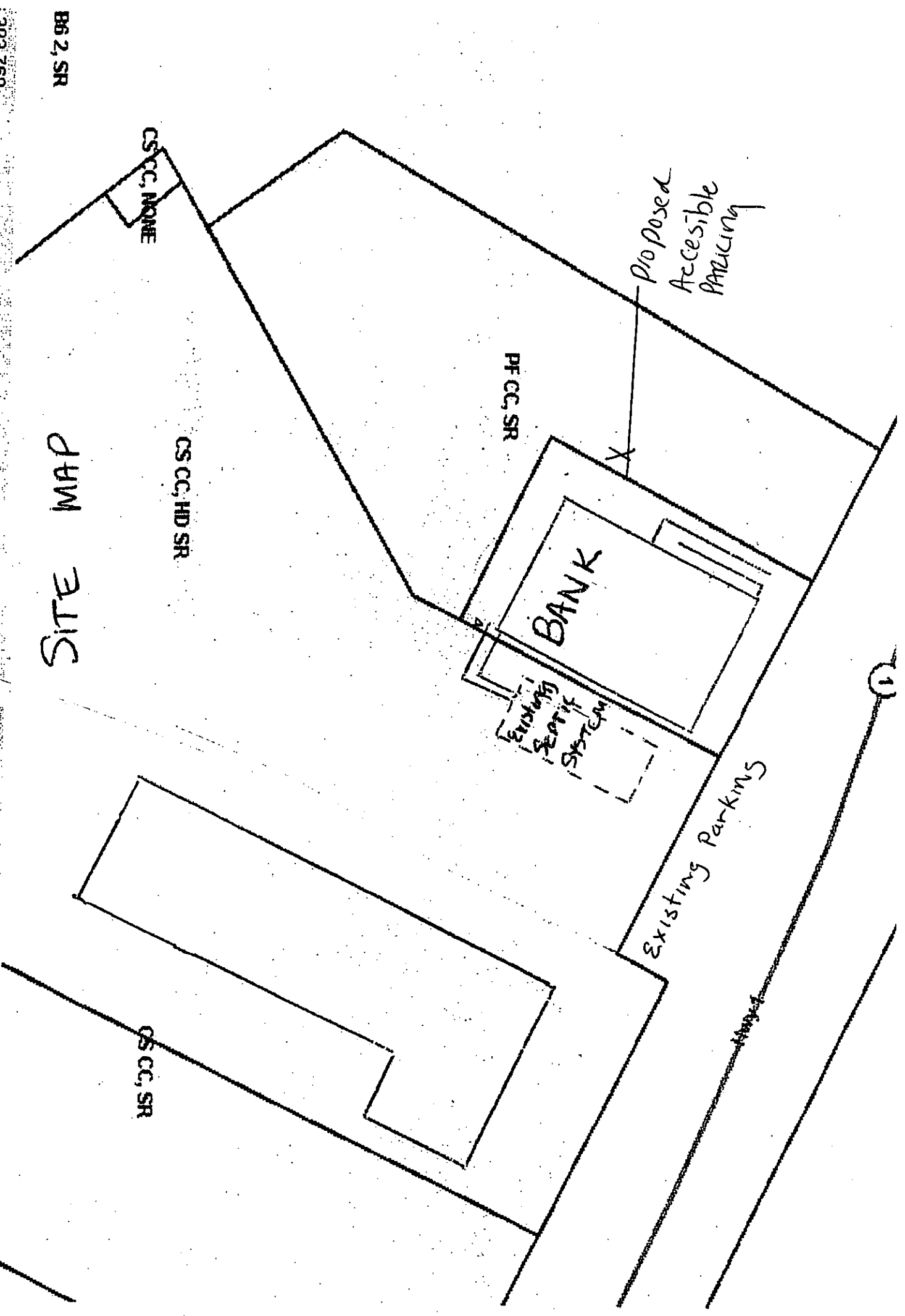
PERMITS Plus

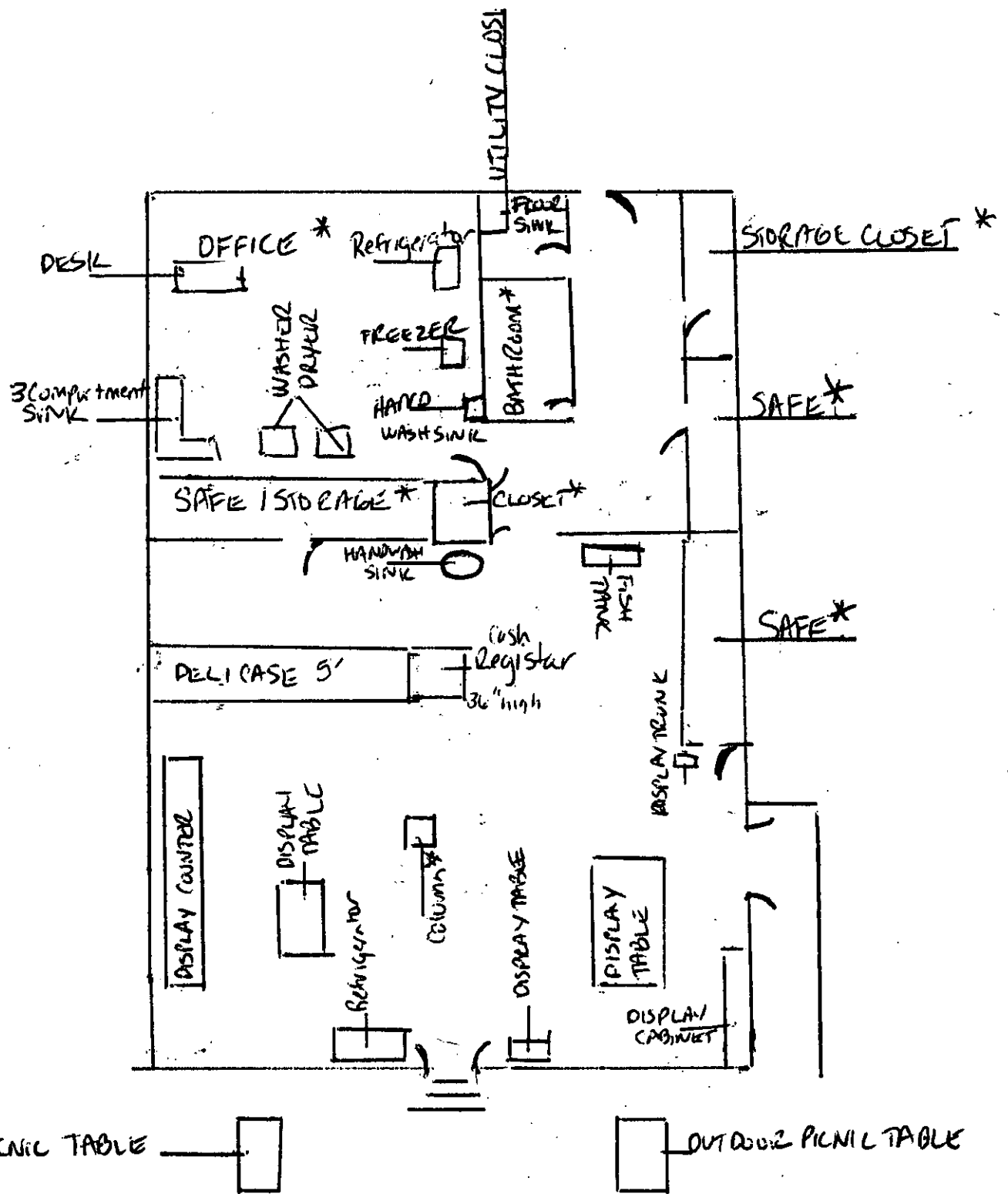
Russian River Draft

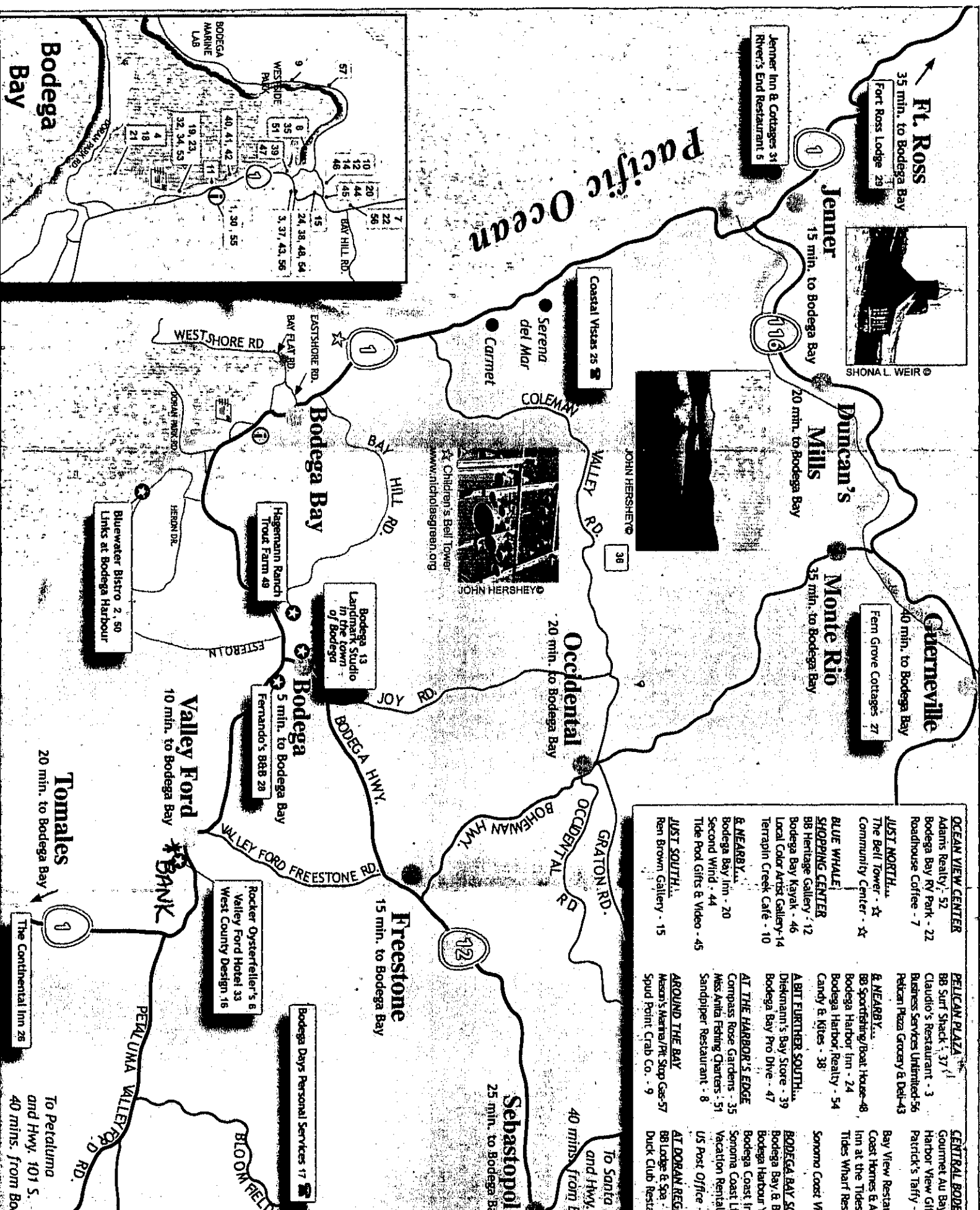
F:\Russian River D...

RRDG May 09.pdf

12:21 PM
Monday

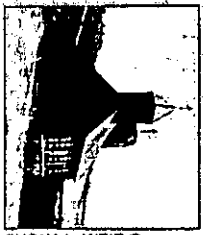






Ft. Ross
35 min. to Bodega Bay

Fort Ross Lodge 29
Jenner Inn & Cottages 31
River's End Restaurant 5



SHONA L. WEIR ©

Jenner
15 min. to Bodega Bay

Coastal Vistas 25

Duncan's Mills
20 min. to Bodega Bay



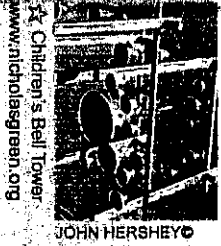
JOHN HERSHEY ©

Monte Rio
35 min. to Bodega Bay

Fern Grove Cottages 27

Guerreville
40 min. to Bodega Bay

Occidental
20 min. to Bodega Bay



JOHN HERSHEY ©

Freestone
15 min. to Bodega Bay

Bodega 13
Landmark Studio in the town of Bodega

Hagemann Ranch Trout Farm 49

5 min. to Bodega Bay
Fernando's B&B 28

Valley Ford
10 min. to Bodega Bay

Bluewater Bistro 2, 50
Links at Bodega Harbour

Tomales
20 min. to Bodega Bay

The Continental Inn 26

To Petaluma and Hwy. 101 S.
40 mins. from Bodega Bay

OCEAN VIEW CENTER

Adams Realty - 52
Bodega Bay RV Park - 22
Roadhouse Coffee - 7

JUST NORTH...

The Bell Tower - 5
Community Center - 5

BLUE WHALE SHOPPING CENTER

BB Heritage Gallery - 12
Bodega Bay Kayak - 46
Local Color Artist Gallery - 14
Terrapin Creek Cafe - 10

E. NEARBY...

Bodega Bay Inn - 20
Second Wind - 44
Tide Pod Gifts & Video - 45

JUST SOUTH...

Ren Brown Gallery - 15

BEACON PLAZA

BB Surf Shack - 37
Claudio's Restaurant - 3
Business Services Unlimited - 56
Petkan Plaza Grocery & Deli - 43

E. NEARBY...

BB Sportfishing/Boat House - 48
Bodega Harbor Inn - 24
Bodega Harbor Realty - 54
Candy & Kites - 38

A BIT FURTHER SOUTH...

Diekmann's Bay Store - 39
Bodega Bay Pro Dive - 47

AT THE HARBOR'S EDGE

Compass Rose Gardens - 35
Sonoma Coast Liv
Miss Anita Fishing Charters - 51
Sandpiper Restaurant - 8

AROUND THE BAY

Mason's Marina/Ft. Stop Gas - 57
Spud Point Crab Co. - 9

CENTRAL BODEGA

Gourmet Au Bay
Harbor View Gift
Patrick's Tally - 2

Bay View Restaurant

Coast Homes & As
Inn at the Tides
Tides Wharf Restu

Sonoma Coast Vn

BODEGA BAY SQ.
Bodega Bay & Be
Bodega Harbour Va

Bodega Coast Inn

Compass Rose Gardens - 35
Sonoma Coast Liv
Miss Anita Fishing Charters - 51
Sandpiper Restaurant - 8

AT DORAN BECK

BB Lodge & Spa - 1
Duck Club Resta

To Santa Fe and Hwy. 101 S.
40 mins. from Bodega Bay

Sebastopol
25 min. to Bodega Bay

Bodega Days Personal Services 17

Rocker Oysterfeller's & Valley Ford Hotel 33
West County Design 16

To Petaluma and Hwy. 101 S.
40 mins. from Bodega Bay