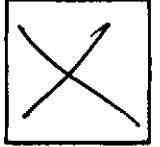


B

Type



Plans

B-102725

Permit Number

5255

Street Number

PINE FLAT RD

Street Name

GEY

Community Code

131-150-025

APN

**SONOMA COUNTY BUILDING INSPECTION**

8/15/90  
INSPECTOR COPY

575 ADMINISTRATION DRIVE  
SANTA ROSA, CA 95403-2884  
TELEPHONE (707) 527-2221

JOB ADDRESS

5255 PINE FLAT RD

H-12C

NEAREST CROSS STREET

ALWAY 128

MAP REFERENCE

PERMIT NUMBER

INSPECTION AREA

**OWNER**  
NAME: KIP MILLER  
MAILING ADDRESS: \_\_\_\_\_  
CITY: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
TEL NO: \_\_\_\_\_

**PROJECT**  
ADDRESS: 5255 PINE FLAT RD.  
CITY: HEADS BURN, CA.  
SUBDIVISION NAME: \_\_\_\_\_ UNIT NO: \_\_\_\_\_ LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_  
ASSESSOR'S PARCEL NO: \_\_\_\_\_  
NEAREST CROSS STREET: PINE FLAT 728

**CONTRACTOR**  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ TEL NO: \_\_\_\_\_  
CITY: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
STATE LIC NO: \_\_\_\_\_ LIC CLASS: \_\_\_\_\_

**DESIGNER**  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ TEL NO: \_\_\_\_\_  
CITY: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
Contractor's Signature: \_\_\_\_\_

**OWNER-BUILDER DECLARATION:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.  
 I am exempt under Sec. \_\_\_\_\_ B & P.C. for this reason: \_\_\_\_\_  
Owner's Signature: K.P. Miller

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3800, Lab. C.)  
Policy No: \_\_\_\_\_ Insurance Co: \_\_\_\_\_ Expiration Date: \_\_\_\_\_  
Applicant's Signature: \_\_\_\_\_

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE:** I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.  
Owner's or Contractor's Signature: K.P. Miller

**CONSTRUCTION LENDING AGENCY:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)  
Lender's Name: \_\_\_\_\_  
Lender's Address: \_\_\_\_\_

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, AND IS SUBJECT TO EXPIRATION IF WORK THEREUNDER IS SUSPENDED FOR 180 DAYS.**

**APPLICANT**  
NAME: 5255 PINE FLAT RD (C.K. Miller)  
ADDRESS: HEADS BURN, CA CITY: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all County and State laws relating to building construction. I hereby authorize representatives of the County of Sonoma to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workmen's Compensation law, this permit shall be deemed revoked.  
SIGNATURE: K.P. Miller DATE: 8-17-90  
 CONTRACTOR  OWNER  AGENT FOR CONTRACTOR  AGENT FOR OWNER

**PLANNING DEPARTMENT**  
N/A - BUREAU ONLY  
ZONING: \_\_\_\_\_ FILE NO: \_\_\_\_\_ ACRES: \_\_\_\_\_  
EXISTING USE: \_\_\_\_\_  
PROPOSED USE: \_\_\_\_\_  
YARDS: FRONT \_\_\_\_\_ LEFT SIDE \_\_\_\_\_ RIGHT SIDE \_\_\_\_\_ REAR \_\_\_\_\_  
**PLANNING APPROVALS**  
FOR PERMIT ISSUANCE: \_\_\_\_\_ BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FOR OCCUPANCY: \_\_\_\_\_ BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REMARKS: RETAIN  
SOUND MITIGATION:  REQUIRED  EXEMPT  
DEVELOPMENT FEES:  REQUIRED  EXEMPT

CERTAIN AREAS WITHIN SONOMA COUNTY MAY BE GEOLOGICALLY HAZARDOUS. YOU ARE INVITED TO REVIEW ANY GEOLOGIC DATA THAT THIS DEPT HAS AVAILABLE TO AID YOU IN MAKING A DETERMINATION AS TO THE SUITABILITY OF A PROPOSED BUILDING SITE.  
CONDITION OF SOIL AT JOB SITE:  
 ORIGINAL  ENGINEERED FILL  LOOSE FILL

SITE REVIEW: \_\_\_\_\_  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REQUIRED REPORTS:  
 GEOLOGY  SOILS  COMPACTION  
 FLOOD ZONE  YES  NO  100 YR. FLOOD ELEV. \_\_\_\_\_

SEWER CONNECTION: \_\_\_\_\_ SANITATION ENGINEER: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SEPTIC TANK INSTALLATION: \_\_\_\_\_ HEALTH DEPARTMENT: \_\_\_\_\_  
PERMIT NUMBER: \_\_\_\_\_ OR CLEARANCE: \_\_\_\_\_  
DATE REC'D: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

DESCRIBE WORK PROPOSED:  
ADD DECK & BATH WINDOW  
EXISTING PERMIT 100869  
NEW  ADDITION  ALTERATION  REPAIR  MOVING  OCC. CHG

	SIZE IN SQUARE FEET	RATE PER SQUARE FOOT	VALUE
FLOOR AREA	8	46.25	370
GARAGE CARPORT			
DECK AWNING	64	6.75	433
<b>TOTAL</b>			<b>713</b>

FEES - Per Chapter 7, et seq, Sonoma County Code

<input checked="" type="checkbox"/> BUILDING	14.50
<input type="checkbox"/> PLAN CHECK	
<input type="checkbox"/> PLUMBING	
<input type="checkbox"/> ELECTRICAL	
<input type="checkbox"/> MECHANICAL	
<input type="checkbox"/> GRADING	
<input type="checkbox"/> SITE/SURVEY	
<input type="checkbox"/> PLANNING	
<input type="checkbox"/> FIRE	
<input checked="" type="checkbox"/> SEISMIC	50
<input type="checkbox"/> LATE FEES	
<b>TOTAL \$</b>	<b>15.00</b>

PLANS APPROVED  NO PLANS SUBJECT TO FIELD INSPECTION  
APPROVED BY: W.C. 8-15-90 DATE: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_ REC'D BY: \_\_\_\_\_ PREVIOUS PERMIT NO: \_\_\_\_\_ DATE CLEARED FOR ISSUANCE: 8/17/90 BY: \_\_\_\_\_  
MACHINE SPACE FOR PERMIT FEE:  
012030 08/17/9020:  
PERMIT 0102725  
BLDG. 414.50  
EQ. PERM 40.50  
WATER 415.00  
CHECK 415.00  
CHRG 40.00  
BxPld  
LD  
6-11-93



SCHOOL DISTRICT CERTIFICATION OF COMPLIANCE

RETURN TO: Building Inspection Department, County of Sonoma, 575 Administration Dr., Room 114A, Santa Rosa, California 95403

FROM: School District Healdsburg Telephone No. 431-3401

THIS CERTIFICATION IS VOID IF NOT RETURNED TO THE BUILDING INSPECTION DEPARTMENT WITHIN 30 DAYS AFTER THIS FORM IS SIGNED AND DATED BY THE SCHOOL DISTRICT

BOX #1 [To be completed by developer and verified by Building Department or Department of Planning and Land Use]

EFFECTIVE DATE 5-25-90 (Date Plan Check Fee Was Paid) BUILDING PERMIT NO. \_\_\_\_\_

PROPERTY OWNER'S NAME Elizabeth Miller

PROJECT ADDRESS 5255 Pine Flat Road Healdsburg, CA 95448

If applicable: Mobilehome Park Name \_\_\_\_\_ Lot/Space Number \_\_\_\_\_

ASSESSOR PARCEL NO. \_\_\_\_\_

PROJECT DESCRIPTION - Include number of dwelling units. If agricultural, state specific use. Also include information regarding whether or not replacement dwelling, building used for religious purposes, private school or owned and occupied by governmental entity.

Building Type (circle one): Residential Commercial/Industrial Mobilehome/Manufactured Home

Remodeling with an increased square footage of \_\_\_\_\_

Square footage breakdown per residential unit: garage/carport \_\_\_\_\_ residential area\* 1257 # open roofed-over area \_\_\_\_\_

Total No. of residential units \_\_\_\_\_ Total Square Feet of Eligible Building Area\*: \_\_\_\_\_

I declare under penalty of perjury under the laws of the State of California on behalf of \_\_\_\_\_ (Developer) that the information furnished in Box #1 is accurate and correct to the best of my knowledge.

Developer Signature [Signature]

The County of Sonoma Building Department / Department of Planning and Land Use (circle one) on 5-25-90, 19\_\_\_\_, has verified the square footage and use information furnished by the above developer.

County of Sonoma Signature [Signature]

- \* Residential Buildings are building occupancies for single and multiple family dwellings, apartments, condominiums, and residential hotels where the primary purpose is to provide a residence and not a service, such as health care.
\* Commercial / Industrial Buildings are building occupancies other than residential. Includes those buildings where the primary purpose is to provide a service, such as health care. Also includes senior citizen housing (Civil Code 51.3), residential care facility for elderly [H&S Code 1569.2(j)], multilevel facility for elderly [H&S Code 15432(d)(9)], and adult only mobilehomes [Gov. Code 65995.2(a)]
\* Eligible Commercial / Industrial Area is all chargeable covered and enclosed space calculated by the building department. Chargeable Covered and Enclosed Space includes all the covered and enclosed space within the perimeter of a commercial or industrial structure but does not include any storage areas incidental to the principal use of the development, garage, parking structure, unenclosed walkway, or utility or disposal area.
\* Eligible Residential Area means the Assessable Space calculated by the building department which includes all the square footage within the perimeter of a residential structure, but does not include any carport, walkway, overhang, patio, enclosed patio, detached accessory structure, or similar area.

BOX #2 [To be completed by school district] Receipt No. 5064

SCHOOL DISTRICT CERTIFICATION

School District requirements for the above project have been satisfied pursuant to (circle one):

Gov. Code 53080 Gov. Code 65970 (for relocatables) Agreement Existing before 1/1/87 Not subject to fee requirement

This Certification covers only the amount of square footage identified above. Any additional square footage for the project is subject to another certification of compliance.

Total amount of fees collected: \$ 1956.24 at \$ 1254 /square feet X 1254 square feet.

With regards to mobilehomes / manufactured homes, it is understood that the validity of any certificate of occupancy or Statement of Installation Acceptance issued by the County is conditioned on the concurrent payment of fees set forth above.

AUTHORIZED SCHOOL DISTRICT OFFICIAL [Signature] 5/30/90 Signature Date

original - Building Inspection Dept. 1st copy - District 2nd copy - Developer 1/90 Accounting Assistant Title

RECORDING REQUESTED BY:

Tom Kurpinsky AND Ruth Kurpinsky  
31300 Pine Mt Rd  
CLOVERDALE, CA

1990 FEB 13 PM 4:04

OFFICIAL RECORDS  
SONOMA COUNTY CALIFORNIA  
BERNICE A. PETERSON

Dan Cahill

AND WHEN RECORDED MAIL TO:

Tom Kurpinsky AND  
Ruth Kurpinsky  
31300 Pine Mt Rd  
CLOVERDALE, CA

95425

500  
5c

SPACE ABOVE THIS LINE FOR RECORDER USE ONLY

NOTICE OF MANUFACTURED HOME, (MOBILEHOME), OR COMMERCIAL COACH,  
INSTALLATION ON A FOUNDATION SYSTEM

Recording of this document at the request of the local agency indicated is in accordance with California Health and Safety Code Section 18551. This document is evidence that such local agency has issued a certificate of occupancy for installation of the unit described hereon, upon the real property described with certainty below, as of the date of recording. When recorded, this document shall be indexed by the county recorder to the named owner of the real property and shall be deemed to give constructive notice as to its contents to all persons thereafter dealing with the real property.

Tom Kurpinsky AND Ruth Kurpinsky  
REAL PROPERTY OWNER, LESSOR

Sonoma Co. Bldg Dept  
LOCAL AGENCY ISSUING PERMIT AND CERTIFICATE OF OCCUPANCY

31300 Pine Mt Rd  
MAILING ADDRESS

575 Administration Dr  
MAILING ADDRESS

CLOVERDALE SONOMA CA 95425  
CITY COUNTY STATE ZIP

SANTA ROSA SONOMA CA 95401  
CITY COUNTY STATE ZIP

SAME  
INSTALLATION MAILING ADDRESS, IF DIFFERENT

95745-1 (707) 527-2221  
BUILDING PERMIT NO. TELEPHONE NUMBER

SAME  
CITY COUNTY STATE ZIP

James H. Cahill 2/13/90  
SIGNATURE OF LOCAL AGENCY OFFICIAL DATE

SAME  
UNIT OWNER (if also property owner, write "SAME")

DUPAR + Ansel  
DEALER NAME (if not a dealer sale, write "NONE")

SAME  
MAILING ADDRESS

91096  
DEALER LICENSE NO.

CITY COUNTY STATE ZIP

Home Systems Inc 1989  
MANUFACTURER'S NAME DATE OF MANUFACTURE

Biltmore 463  
MODEL NAME/NUMBER

HSCASN CBA9032 1195 60 34  
SERIAL NUMBER(S) LENGTH X WIDTH

PFS 201533 / 201534 / 201535  
REGIONAL LABEL NUMBER(S)

REAL PROPERTY LEGAL DESCRIPTION ASSESSOR'S PARCEL NUMBER 115-080-11





# APPLIED EARTH SCIENCES, INC.

*Consulting Engineering Geologists and Geotechnical Engineers*

5685 REDWOOD DRIVE SUITE 204 ROHNERT PARK, CALIFORNIA 94928 (707)585-7510

July 27, 1990  
Job No. 202-87-B

Ms. Betty S. Miller  
379 Young Drive  
Santa Rosa, CA 95401

Subject: Footing Excavation Observation  
Proposed Single-Family Residence  
5255 Pine Flat Road  
Healdsburg, California  
A.P. No. 131-150-25

Dear Ms. Miller:

Presented herein are the results of our footing excavation observation for the proposed residence at 5255 Pine Flat Road near Healdsburg, California. An engineering geologist from our office visited the site on July 12, 1990 to verify that adequate depth requirements were met and that footings would be founded in uniform quality materials.

APPLIED EARTH SCIENCES, INC. previously prepared a report for the subject site titled "Engineering Geologic Feasibility Study, Proposed Single-Family Residence and Leachfield, Pine Flat Road, Healdsburg, California, A.P. No. 131-150-25," dated March 17, 1989. In our report, we recommended that all footings be embedded at least 18 inches below lowest adjacent grade and at least 12 inches into competent bedrock materials.

Based on our review of the project plans, the residence is a two-bedroom, Class K structure with a loft. The residence is approximately 32 feet by 40 feet.

Based on our observations, footing excavations were approximately 12 to 20 inches deep in most areas and founded in weathered sandstone bedrock materials. Due to locally very hard bedrock materials, the owner/excavator was unable to achieve the originally required footing depths. Within the interior footing excavation on the north side of the proposed residence, no penetration into bedrock materials was possible within a section 55 inches long. In addition, reinforcing steel dowels have been drilled into the bedrock on 32-inch centers.

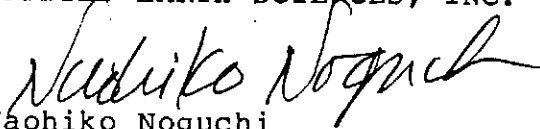
Ms. Betty Miller  
July 27, 1990  
Page 2

Based on our site observations, all footing excavations have been drilled in substantial compliance to specifications presented in the project feasibility report and supplemental recommendations provided by APPLIED EARTH SCIENCES, INC. All loose materials must be removed from the excavations prior to placing concrete.

We trust this is the information you require at this time. If you have any questions, please contact our office.

Yours very truly,

APPLIED EARTH SCIENCES, INC.

  
Naohiko Noguchi  
Engineering Geologist No. 993

NN/NB/ct

(2 copies submitted)

Building Inspection Dept.  
575 Administration Drive Room 114A  
SANTA ROSA, CA. 95403-2884

Pete  
Permit  
# 100866 (I)



# APPLIED EARTH SCIENCES, INC.

Consulting Engineering Geologists and Geotechnical Engineers

5685 REDWOOD DRIVE SUITE 204 ROHNERT PARK, CALIFORNIA 94928 (707)585-7510

4-18 no phone #  
no address

577-0650

Y Rugs

21195 M

March 17, 1989  
Job No. 202-87-A

Ms. Betty S. Miller  
379 Young Drive  
Santa Rosa, CA 95401

5255 Pine Flat Rd.

Subject: Engineering Geologic Feasibility Study  
~~Proposed Single-Family Residence and Leachfield~~  
Pine Flat Road  
Healdsburg, California  
A.P. No. 131-150-25

Dear Ms. Miller:

rec'd 4-18-90  
Jan

## INTRODUCTION

Presented herein are the results of our engineering geologic feasibility study conducted at the captioned site. An engineering geologist from our office visited the site on March 10, 1989, to observe the existing conditions and evaluate the proposed building site and leachfield areas. We understand that it is proposed to construct a single-family residence on the subject site. The residence will be served by a septic tank/leachfield system and domestic water supplies are to be obtained from springs on the property.

The purpose of our investigation was to evaluate the suitability and stability of the proposed building site and leachfield areas. Our investigation was limited to surface observation only and did not entail any subsurface exploration. This report is not intended as a substitute for a full geotechnical report. Rather, this report is intended to identify a reasonably stable building site and leachfield areas, and determine the applicability of the Uniform Building Code (1988 edition) for conventional residential foundations.

## SITE LOCATION AND DESCRIPTION

The subject property is located approximately 5.6 miles northeast of Healdsburg, California, approximately 6.3 miles southeast of Geyserville, and adjacent to and southeast of Pine Flat Road (PLATE 1, SITE LOCATION MAP). The proposed building site is located approximately 1000 feet southeast of Pine Flat Road and 650 feet north of Deer Creek at an elevation of about 1000 feet above mean sea-level.

Ms. Betty S. Miller

March 17, 1989

Page 2

The property is essentially unimproved except for the recent construction of an unimproved access road to the building site from Pine Flat Road and previous minor grading activities at the proposed building site. At the time of our site visit on March 13, 1989, the road was blocked to vehicular traffic due to numerous cut slope failures and saturated soil conditions.

#### BUILDING SITE

The proposed building site is situated atop a small knoll and long narrow ridge at an elevation of approximately 1000 feet above mean sea level (PLATE 1) which has been partially leveled by grading activities. The pad measures approximately 90 feet long (east-west) by 60 feet wide (north-south), and is located entirely in areas of cut. A resistant block of sandstone (approximately 5-1/2 feet high, 20 feet wide, 35 feet long) has been excavated around and remains in place in the north-northwestern area of the pad.

The access driveway enters the building site from the east and curls up and around the north/northwestern side of the pad. Multiple cut slopes are situated between the access driveway and the north side of the pad. The lower cut ranges from 2 to 4 feet high and is inclined at 35 degrees or greater, the upslope cut is approximately 5 feet high and inclined at about 22 degrees. The 5 feet high cut extends around the eastern side of the pad where maximum heights of 18 feet were observed with slope gradients of 25 degrees (approximately 2H:1V horizontal to vertical).

Natural hillside slopes around the perimeter of the building pad are moderately steep to steep and range in gradients between approximately 33 and 38 degrees.

#### LEACHFIELD AREAS

Three selected leachfield areas were evaluated for relative stability (see PLATE 1). Two of the possible leachfield areas are situated along very narrow ridgeline areas underlain at shallow depths by sandstone bedrock materials of the Franciscan Complex. The other leachfield area is situated in a broad gently sloping area underlain by relatively thick soil materials.

Leachfield Area 1 (PLATE 1) is located approximately 130 feet east of and downslope from the proposed building site. This possible leachfield area is bounded by approximately 4 feet high near vertical cut slopes (for the access road) to the south, and steep hillside slope gradients of 35 degrees and greater to the north. The area suitable for a possible leachfield is approximately 75 feet long by 60 feet wide.

Leachfield Area 2 (PLATE 1) is located approximately 1100 feet east of the building site and immediately east (i.e. upslope) of the newly constructed access road in a small, bowl-shaped area

located downslope from relatively steep hillside areas. The possible leachfield site is approximately 150 to 200 feet long by 150 feet wide, and is inclined up to about 5 to 10 degrees northwesterly.

Leachfield Area 3 (PLATE 1) is located on a west-trending ridge area approximately 400 feet west of and downslope from the proposed building site (elevation drop of about 140 feet) and is approximately 30 feet wide by 60 feet long. Steep side slopes to the north and south are generally greater than 40 degrees.

### GEOLOGY

The subject property is located within a geologically complex area. Regional geologic mapping (Special Report 120, California Division of Mines and Geology, 1980) indicates that the subject site is underlain by Franciscan Complex materials generally consisting of sheared shale and sandstone which may contain resistant masses of chert, "high-grade" metamorphic rocks, and shattered sandstone and greenstone.

Regional slope stability mapping (Special Report 120) suggests that areas of greatest stability exist on slopes dominantly less than 15%. Slopes greater than 15% are designated as areas where materials may be relatively unstable and landslides are abundant. One small area of slope instability was delineated just south of the proposed building site on a relatively steep hillside area.

Based on our site inspection, the proposed building site is underlain predominantly by hard to very hard sandstone bedrock materials of the Franciscan Complex. Minor interbedded shale was observed in cut slopes for the access road, and may also be present at the building site in minor amounts. Generally, the Franciscan sandstone is fine- to medium- grained, hard to very hard, yellowish brown with orange staining, closely to moderately fractured, and moderately weathered (weathered grade III, 50% to 90% fresh rock) to slightly weathered (weathered Grade II, greater than 90% rock).

### SEISMICITY

The subject property is located relatively close to several active or potentially active faults. The site is located approximately 26 miles northeast, 5 miles northeast, 0.6 miles northeast, and 1.5 miles southeast of the active San Andreas, active Healdsburg, active Maacama, and possibly active Black Mountain faults, respectively. These faults are considered a part of the San Andreas fault system which extends for over 900 miles from the Gulf of California, through the Coast Ranges, to Point Arena (north of San Francisco) where the fault leaves the coastline. Geologic studies conducted within the San Andreas fault zone suggest that it is a major zone of active fault displacement, and some segments may have experienced cumulative

horizontal offsets of at least 350 miles since the fault's inception. Such large displacement along the San Andreas system represents the accumulated displacement of countless earthquake episodes.

In our opinion, the San Andreas, Healdsburg, Maacama and Black Mountain faults may present potential seismic hazards to improvements constructed on the subject property. However, the specific hazards associated with these faults are confined to the effects of ground shaking and ground failure (primarily landslides on steep hillside areas). The possibility of surface rupture at the site is considered extremely remote.

### ~~CONCLUSIONS AND RECOMMENDATIONS~~

~~Based on data gathered in the course of conducting our investigation, it is our opinion that the proposed building site and delineated leach field areas are suitable and reasonably geologically stable for the intended use.~~

### FOUNDATION

It is our opinion that the proposed structure to be located in the approved building area (see PLATE 1) may be satisfactorily supported on conventional or stepped spread footings or a pier and grade beam foundation. A site specific geotechnical report would be necessary to provide soil strength parameters for design of pier and grade beam foundations, revision of conventional footing recommendations presented below or where retaining walls are planned. It should be noted that excavations within the sandstone bedrock materials at the building site may be locally very difficult. The use of specialty equipment for excavation activities may be necessary.

Criteria for foundation application are as follows:

### CONVENTIONAL SPREAD FOOTINGS AND STEPPED SPREAD FOOTINGS

Conventional spread footings may be used where the natural or graded surface and 15 feet laterally from the outside edge of the foundation is flatter than 10H:1V. Continuous reinforced exterior footings with isolated interior spread footings may be used. Foundations for one or two story areas should be founded a minimum depth of 18 inches below lowest adjacent grade with at least 12 inches embedment into sandstone bedrock materials as determined by an engineering geologist. Footing width should be a minimum of 12 and 15 inches for one and two story elements, respectively.

The footings should be stepped if the existing or planned finished ground surface within the building area and 15 feet beyond the downslope and upslope sides of the building perimeter

is 4H:1V or flatter. If stepped footings are used, then no isolated piers may be used (i.e. interior footings must be continuous). Steps to provide level bearing surfaces, as a guideline, should be minimum of 10 feet in horizontal length. The base of all footings should be horizontal and steps should consist of vertical cuts.

No foundation should be located within 15 feet of the shoulder of any slope over 15 feet high and steeper than 4H:1V unless the foundation plan and specific area of proposed construction have been reviewed and approved by the geotechnical engineer/engineering geologist. A geotechnical report providing guidelines for foundation design would be required for any structure situated within 15 feet (horizontally) of the sharp break in slope at the perimeter of the building pad.

The concrete foundations should be reinforced with steel as directed by the project structural engineer.

A geotechnical engineer or engineering geologist from our office should inspect and approve all footing excavations prior to forming and placement of structural concrete. To allow proper scheduling, we should be notified at least 2 days prior to excavation.

#### LEACHFIELD AREAS

It is our opinion that there are stable and suitable leachfield areas within the subject property (see PLATE 1). Leachfield Area 2 is considered a stable site provided a subdrain is constructed upslope from the actual leachfield to divert shallow groundwater away from the leachfield and all discharge to be directed to acceptable downslope areas. A surface V-ditch should also be constructed upslope from the leachfield area to divert surface runoff to suitable downslope areas. Actual subdrain and V-ditch design should be provided by the Civil Engineer. It is our understanding that no percolation rate tests have been conducted as of this date. Leachfields constructed in approved areas should not adversely effect slope stability at the site. All leachlines should be inspected by the engineering geologist to ensure that they are constructed within approved areas.

Within Leachfield areas 1 and 3, a setback distance of 10 feet is recommended from steep side slope areas exceeding 16 degrees (30%, or 3.4H:1V). Due to the narrow ridgetop areas, it may be that locally only a single leach line can be installed parallel with the trend of the ridge.

Our study was limited to evaluating the relative stability of selected leachfield areas. There can be no guarantee that adequate percolation rates will be achieved during testing, or if more than one leach line can be constructed within the approved area (ridge top areas). All governing Sonoma County regulations must be met during construction of the septic tank/leachfield

system. Based on our limited site reconnaissance, there are alternate stable areas for leachfields within the subject site; however, their evaluation was beyond the scope of this report. If it is necessary to utilize alternate sites for the leachfield, please contact our office for further geotechnical mapping and stability evaluation.

Properly designed, constructed and maintained leachfields should not adversely affect the slope stability as long as the leachfields are constructed within the recommended areas. Leachfields must be designed to the specifications of the Sonoma County Environmental Health Department.

#### DRAINAGE

Under no circumstances should ponding of surface water be allowed on the access road or adjacent to the proposed structure. Surface waters should be collected and diverted away from the building areas. Runoff collected from required roof gutters and downspouts should discharge onto splash blocks or into drains directing the water away from the foundation or into closed conduits that lead to acceptable outfall areas. Appropriate energy dissipators should be installed at the outlet of any drain pipe to prevent excessive erosion if necessary.

Surface drains should also be provided along the edge of roads, driveways, and parking areas as appropriate.

A positive slope gradient of 3% away from building perimeters should be applied to the finished subgrade (exclusive of topsoil). This slope should extend no less than 5 feet from the building perimeters.

Whenever feasible, positive surface gradients should be provided away from the top of cut and fill slopes and away from edges of pavement areas. Lined surface interceptor ditches are recommended to divert runoff from cut slope and fill slope faces and roadway margins.

Under no circumstances should runoff be concentrated on side slopes near the proposed building sites or allowed to flow uncontrolled over the steep sideslope areas around the perimeter of the building site.

All building areas are required to be provided with lined surface swales where steep hillside areas are located upslope and adjacent to the building site.

#### INSPECTION

An inspection by the Soil Engineer must be made of all foundation excavations prior to the placement of steel and concrete to determine that all foundations are founded within uniform quality materials and that minimum depth and width requirements are met.

Ms. Betty S. Miller  
March 17, 1989  
Page 7

At the completion of the foundation excavation, we will submit a report that summarizes the work observed along with any supplemental recommendations that may have been given in the field.

To allow proper scheduling so that our personnel are present at the job site when needed, we require that we be furnished no less than 48 hours advance notice of when work requiring our presence will be accomplished.

#### GROUNDWATER AVAILABILITY

We understand that spring(s) present on the property are to be developed for domestic use in the near future. An assessment of groundwater availability at the site is beyond the scope of this study.

#### CLOSURE

We have endeavored to provide our best professional judgment and opinions based upon engineering and geological education and experience within the authorized scope of work. However, it must be realized that there is an inherent and assumed risk in all hillside construction. Also, subsurface conditions may vary from those observed at the surface or exposures or conditions may change with time due to natural or man-caused effects. Therefore, there can be no guarantee or warranty, either expressed or implied, of the stability or performance of this or any hillside site. We generally recommend that landslide and earthquake insurance be obtained for hillside construction, where available.

There is a very good chance that significant erosion or slope instability will not occur at the site during the expected life of the proposed structure if they are located in approved areas and constructed to minimum standards discussed above. However, there can be no guarantee, as we have not been authorized to perform an exhaustive and economically unfeasible investigation necessary to eliminate such risks.

It should be realized that slope failures including landslides, debris flows and erosion are continuing natural processes which gradually wear away the landscape. Residual soils and weathered bedrock can be susceptible to downslope movement, even on apparently stable sites. Such inherent hillside and slope risks may be present during periods of intense and prolonged rainfall which occasionally occur in northern California, and/or during earthquakes. Therefore, it must be realized that occasional, unpredictable slope failure, erosion and deposition of the residual soils and weathered bedrock materials have to be accepted as irreducible risks and hazards of building and placing improvements upon or near the base of any hillside or any steeper slope through northern California and the Greater Bay Area.

Ms. Betty S. Miller  
March 17, 1989  
Page 8

We trust this is the information you require at this time. If you have any questions, please contact our office.

The following plate is attached and completes this report:

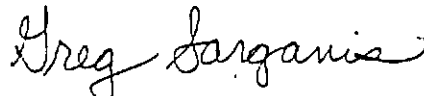
PLATE 1                      SITE LOCATION MAP

Yours very truly,

APPLIED EARTH SCIENCES, INC.

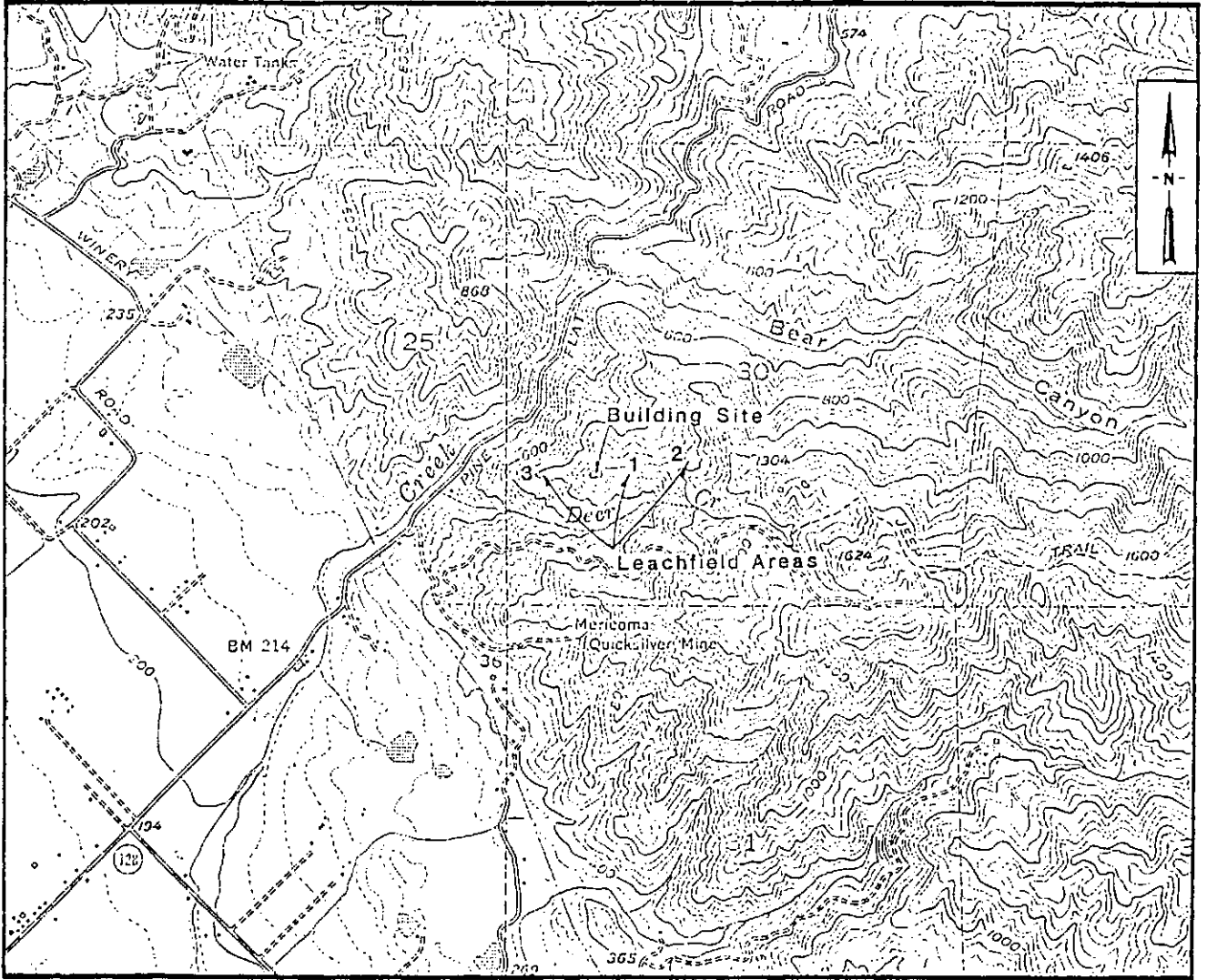


Don R. Braun  
Engineering Geologist No. 1310



Greg Sarganis  
Project Engineering Geologist

DRB/GS/gs



SITE LOCATION MAP

SCALE: 1" = 2000'

REFERENCE: U.S.G.S. 7½ Minute Topographic Map, Jimtown Quadrangle, photorevised 1975.

Revisions: \_\_\_\_\_  
 By \_\_\_\_\_ Date \_\_\_\_\_  
 By \_\_\_\_\_ Date \_\_\_\_\_  
 Location Pine Flat Road, Healdsburg, CA

By gs Date 3-13-89  
 Checked By \_\_\_\_\_  
 Job Number 202-87-A Name Miller

Miller, C.L. & Betty  
5255 Pine Flat Rd.  
Healdsburg CA 95448  
AP-131-150-35  
C.L. Miller

APPROVED  
MAY 23 1990  
Sonoma County  
Building Inspection Dept.

12" x 12" CONC. PIER @  
0'-0" O.C. MAX. (TYP.)  
4x4 GIRDER (TYP.)

3 COURSES 8x8x16 CONC. BLK.  
W/ #4 REBAR BTWN. TOP 4 200  
COURSE HORIZ. (TYP.)

SOILS ENGINEER IS TO REVIEW  
FOUNDATION EXCAVATIONS AND  
NOTIFY BLDG. DEPARTMENT OF  
APPROVAL PRIOR TO CALLING FOR  
FOUNDATION INSPECTION.

SEE SOILS REPORT

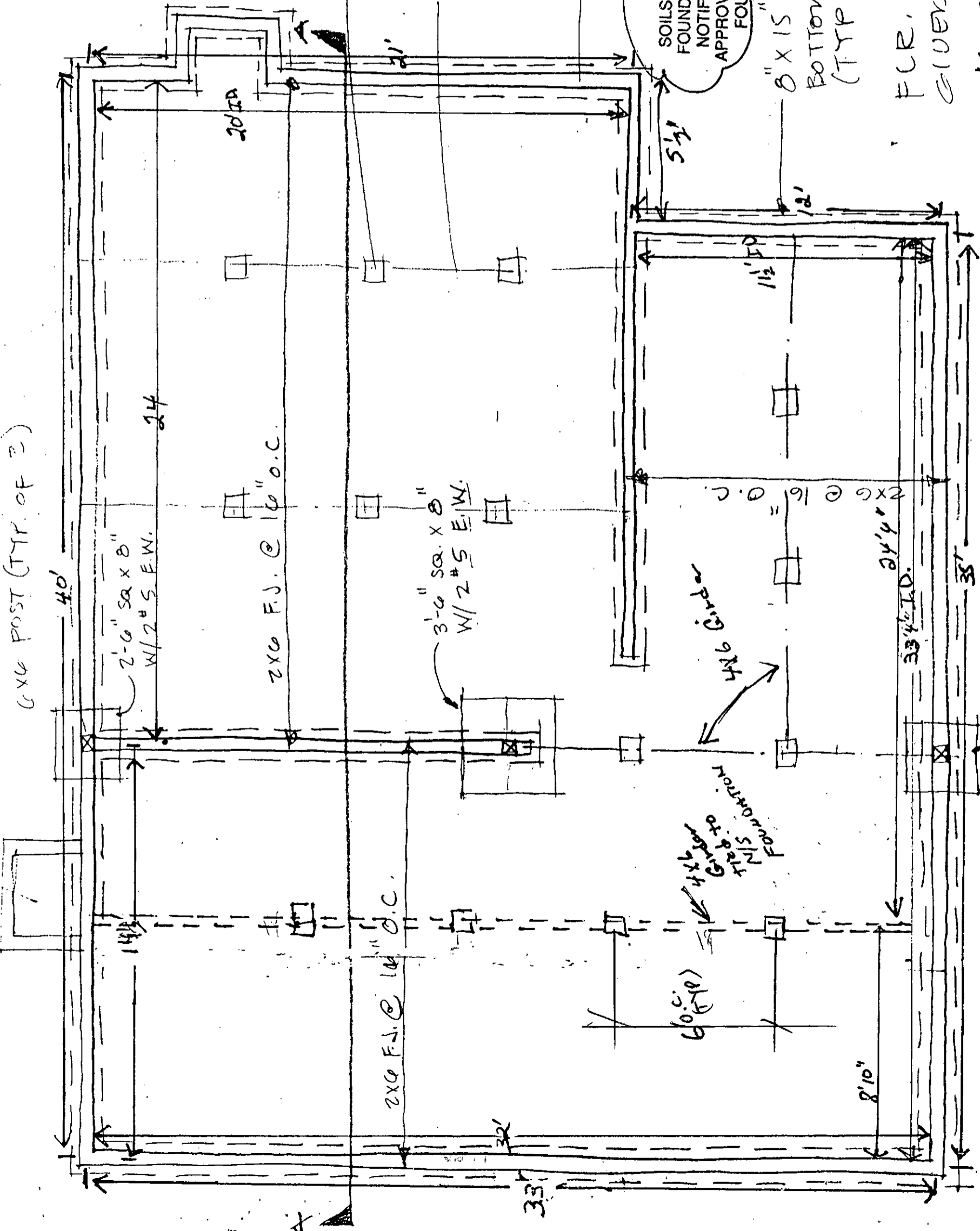
8" x 15" WIDE FTG. W/ 2 #4 HORIZ. @  
BOTTOM & W/ #4 VERT. @ 32" O.C.  
(TYP.)

FUR. SHTG. 1 3/8 T & G. PLTWLD.  
GIBED & NAILED

K-CLASS  
FOUNDATION PLAN

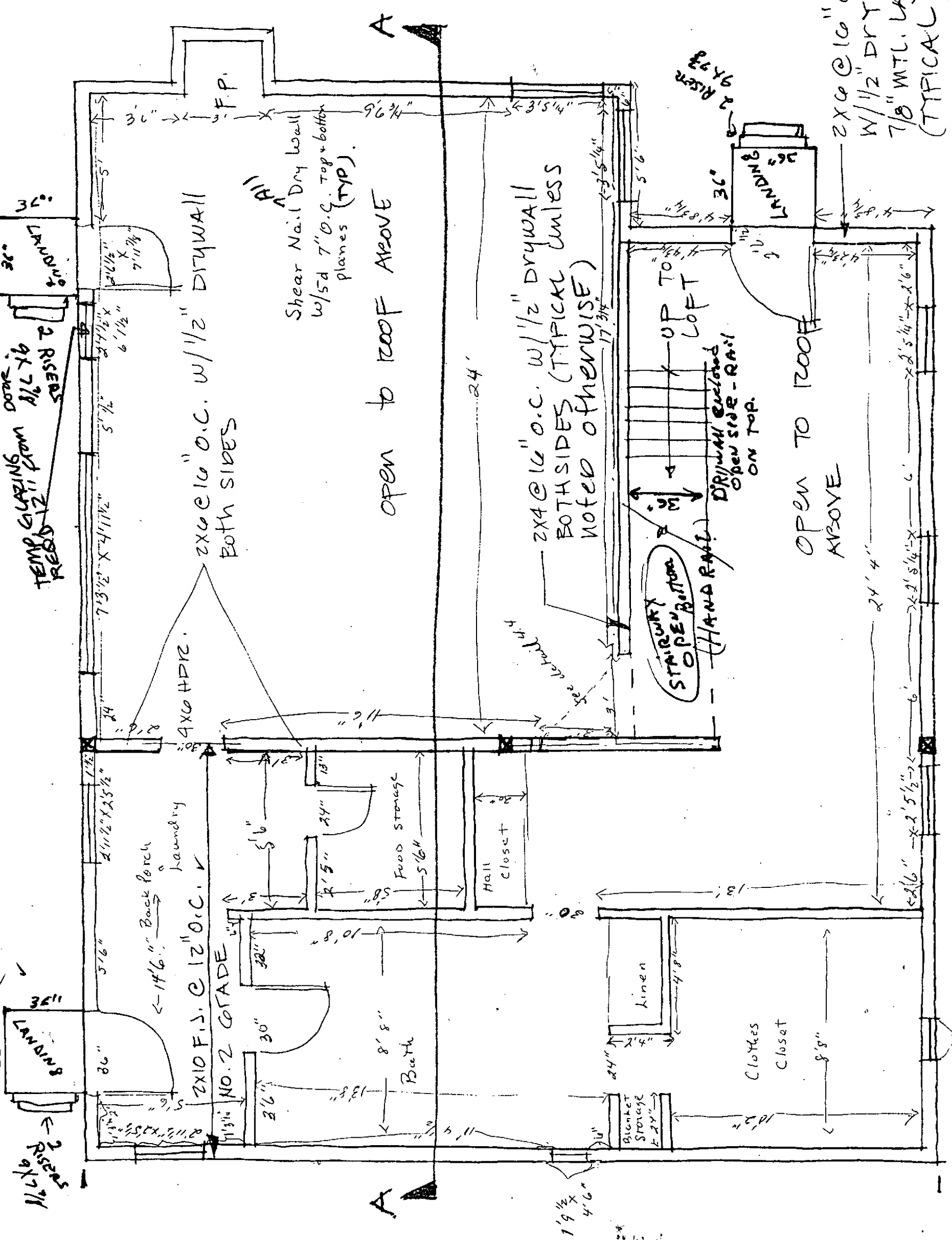
1/4" = 1'-0"

North



Miller, C. L & Betty  
 Site Location:  
 5255 PINE FLAT RD  
 Healdsburg, Ca. 95448  
 AP-#-131-150-25  
 C. L. Miller

★ APPROVED ★  
 MAY 23 1990  
 Sonoma County  
 Building Inspection Dept.



FIRST FLOOR PLAN  
 1/4" = 1'-0" K-CLASS

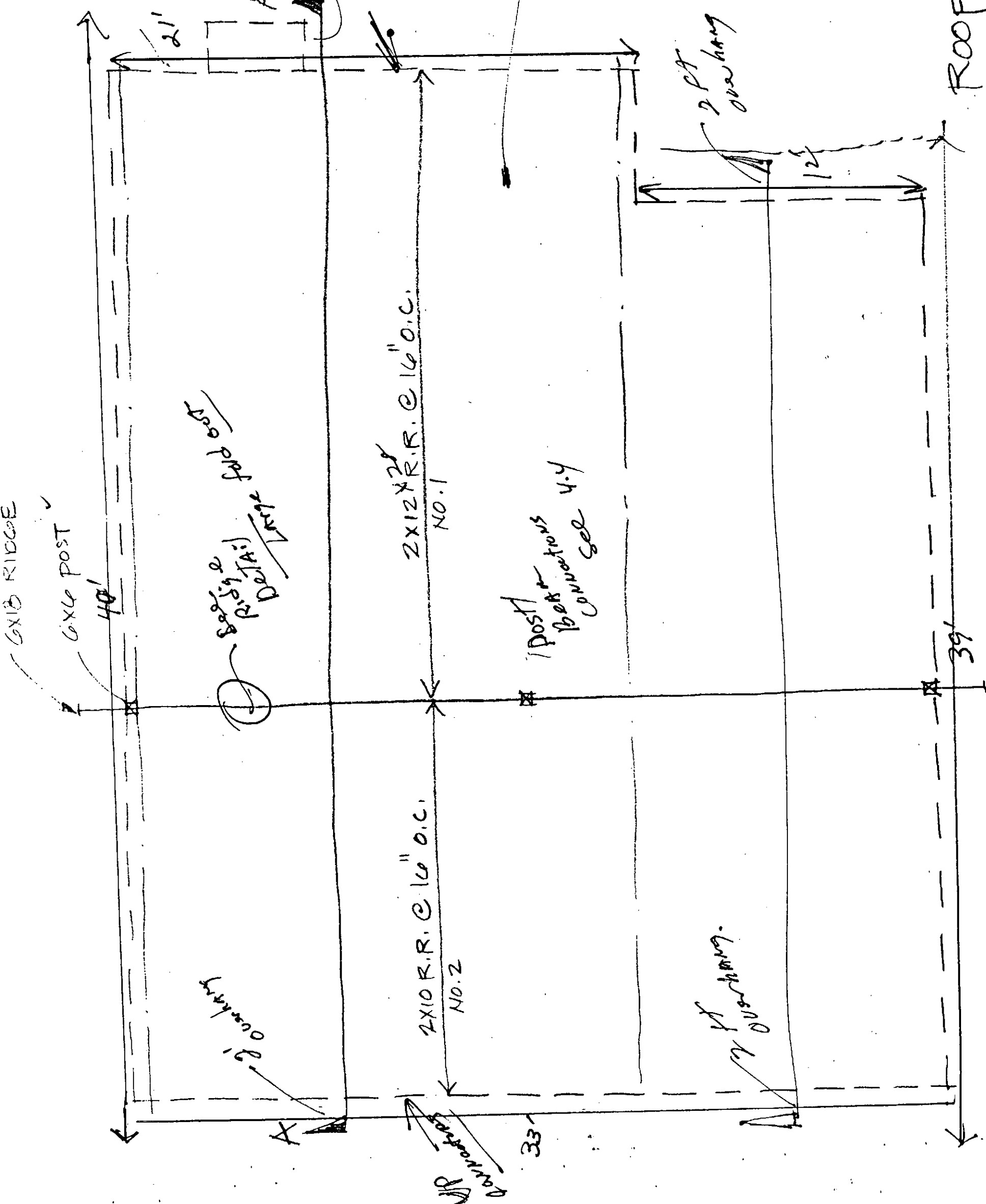
North



Miller, C.L. & Betty, 4.  
 Site: Location:  
 5255 Pine Flat Rd  
 Healdsburg, Ca 95424  
 AP# 131-150-25  
 C.L. Miller  
 K-C/ASS

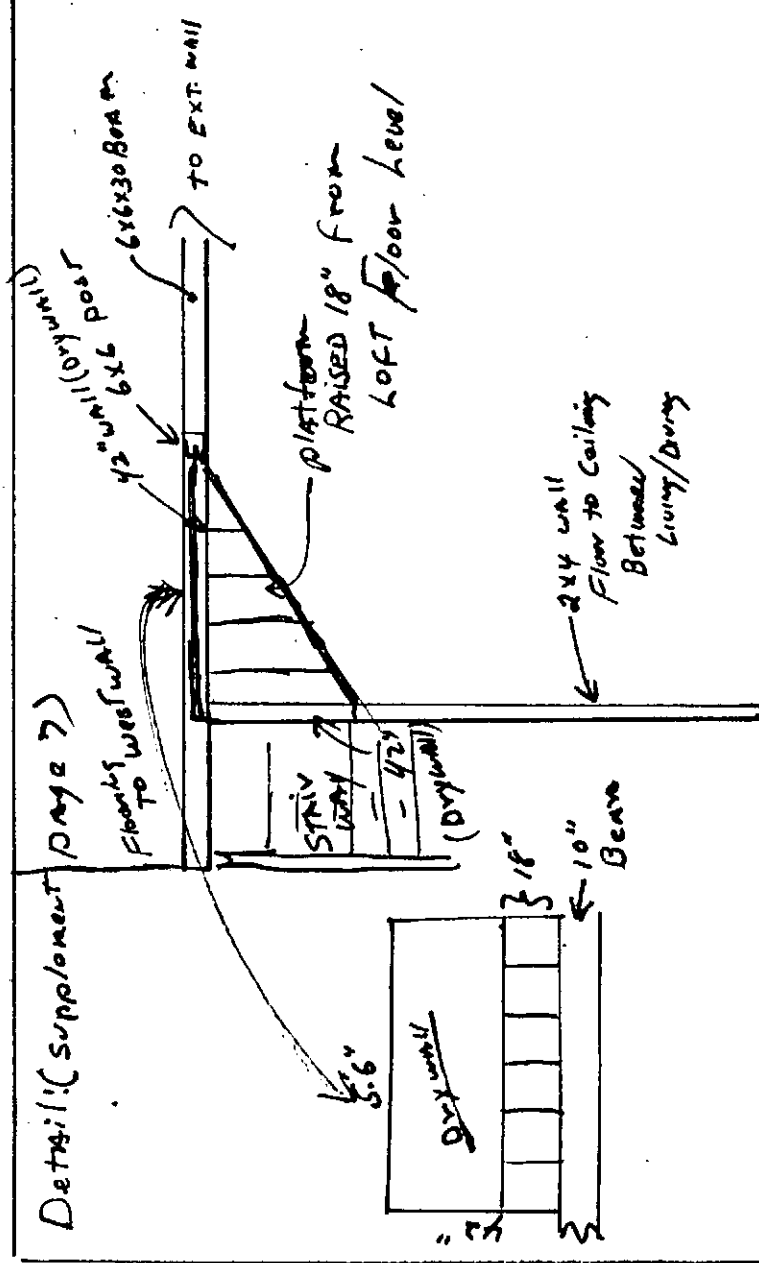
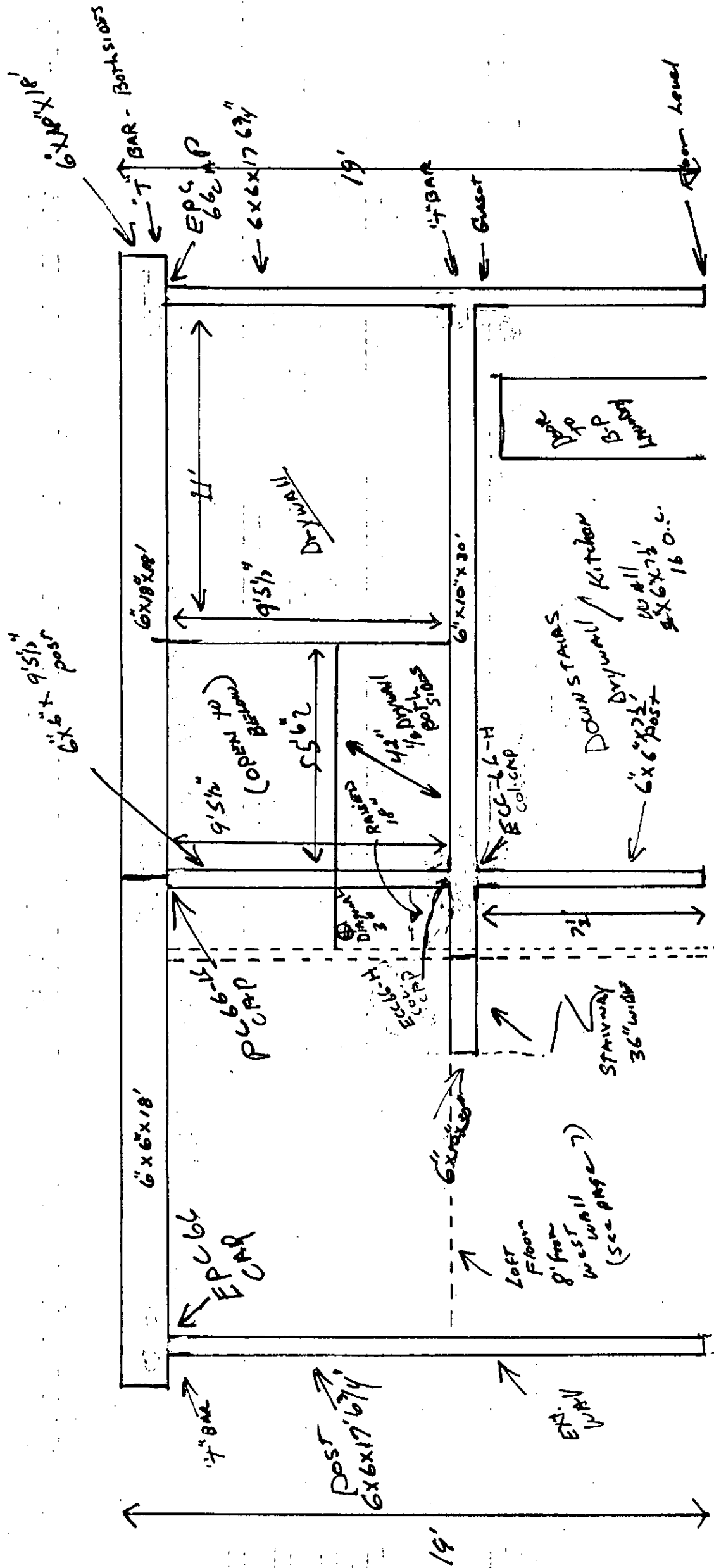
★ APPROVED ★  
 MAY 23 1990  
 Sonoma County  
 Building Inspection Dept.

CLAY TILE ROOFING  
 OVER 30# FELT  
 OVER 1/2" EXTER. PLUMB.



ROOF PLAN  
 1/4" = 1'-0"  
 North

★ APPROVED ★  
 MAY 23 1990  
 Sonoma County  
 Building Inspection Dept.



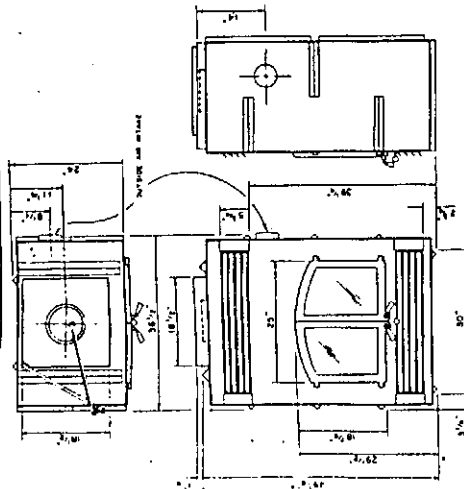
2x4 floor to ceiling wall  
 Diagonal 3x6" to 2x4 wall raised 18"

Detail: posts/Berms  
 Detail: loft full 8 1/2 wall

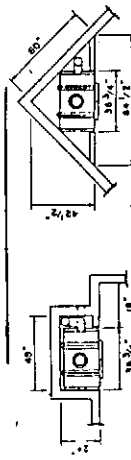
K-CLASS  
 Miller, C.L. & Betty  
 SITE LOCATION:  
 555 PINE FLAT RD.  
 Healdsburg, CA 95448  
 C.F. McElroy  
 AP# 131-150-25



**OPEL DIMENSIONS**



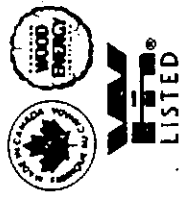
**INSTALLATION CLEARANCES**



The Opel 2000 design provides an effortless 3 step installation which allows zero clearance from stand-offs to combustible materials and it can be set directly onto a combustible floor.

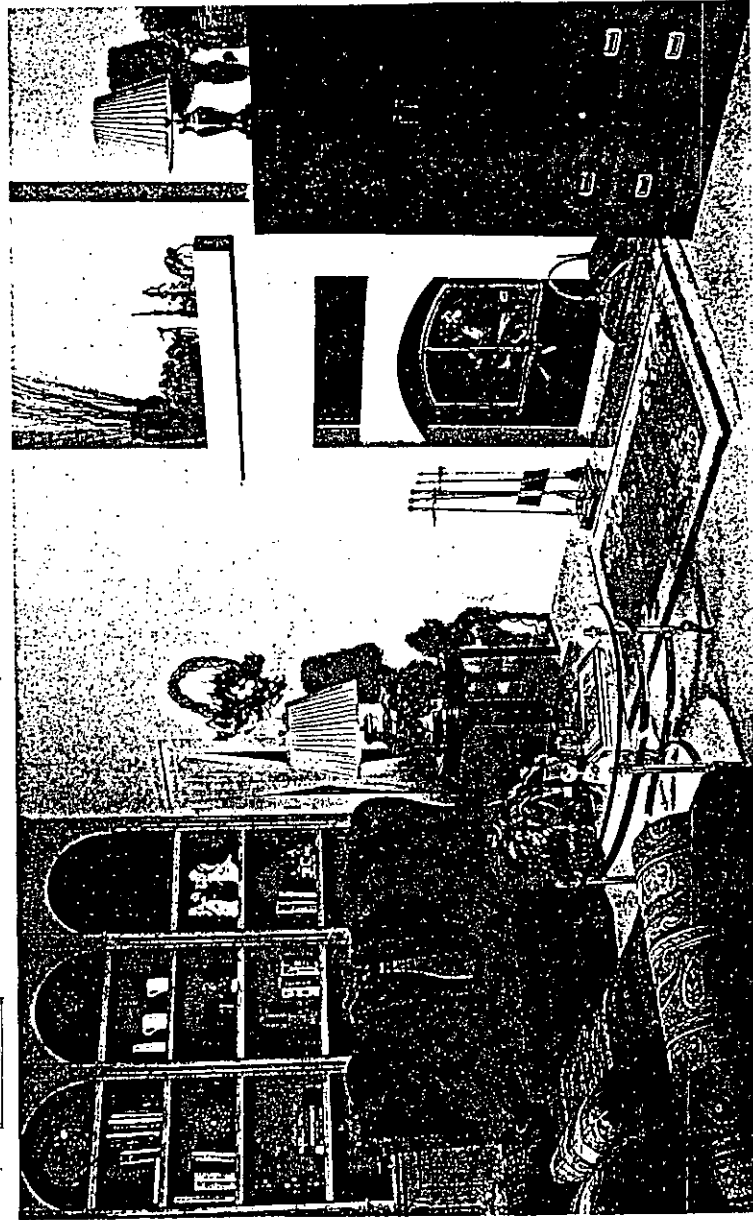
1. Connect chimney. Certified with 7" or 8" Security Model ASHT or 8" Projet chimney.
2. Connect outside air with standard outside combustion air connection.
3. Connect power.

No other ducts or connections.



Certified by Warnock Hersey to CSA, ULC and UL standards. Development of this product funded in part by NRC.

**RSF ENERGY** Box 3637, Smithers, B.C. V0J 2N0



**WHAT MORE COULD YOU WANT?!**

The charm and ambiance of an open fire with the high efficiency of wood stove technology (70% overall efficiency) — that's what the engineers at R.S.F. Energy have brought to you. Compare the facts! Can any other zero clearance fireplace offer you controllability? The optional wall-mounted electric thermostat ensures your heat stays at a constant temperature with total controllability. No "ups and downs" of an inefficient heating system.

A large firebox of heavy gauge construction giving you overnight burns without necessity to reload every few hours.

The Opel is approved for R-2000 homes and requires no additional outside air kit.

The Opel has been designed for easy installation, operation and maintenance. A long-term investment combining economic savings, a traditional fireplace and an efficient home heating system.

Just as you choose your decorating scheme, enhance your Opel and your decor with optional gold doors, gold louvers and black glass or choose the traditional and subtle Basic Black Opel.

Enhance the Opel by covering the face with any non-combustible designer material and the installation is complete.

The Opel is designed to provide you with a high efficiency heating system with stylish looks. Compare the facts and make it your choice.

DEALER:

>> 11 <<

- THE OPEL 2000 SPECIFICATIONS**
- BTU/HOUR ..... 10,000 - 70,000
  - HEATING CAPACITY ..... 2500 Square feet
  - FLUE SIZE ..... 7" or 8" Diameter
  - FIREBOX ..... 23" W x 16" H x 13" D
  - SIZE ..... 36 1/2" W x 49 1/8" H x 24" D
  - WEIGHT ..... 400 pounds
  - MAXIMUM WOOD SIZE ..... 20" x 8"
  - CLEARANCE TO COMBUSTIBLES ..... Zero clearance sides, top and back to stand-offs
  - OUTSIDE COMBUSTION AIR ..... 4" diameter intake, meets R-2000 standards

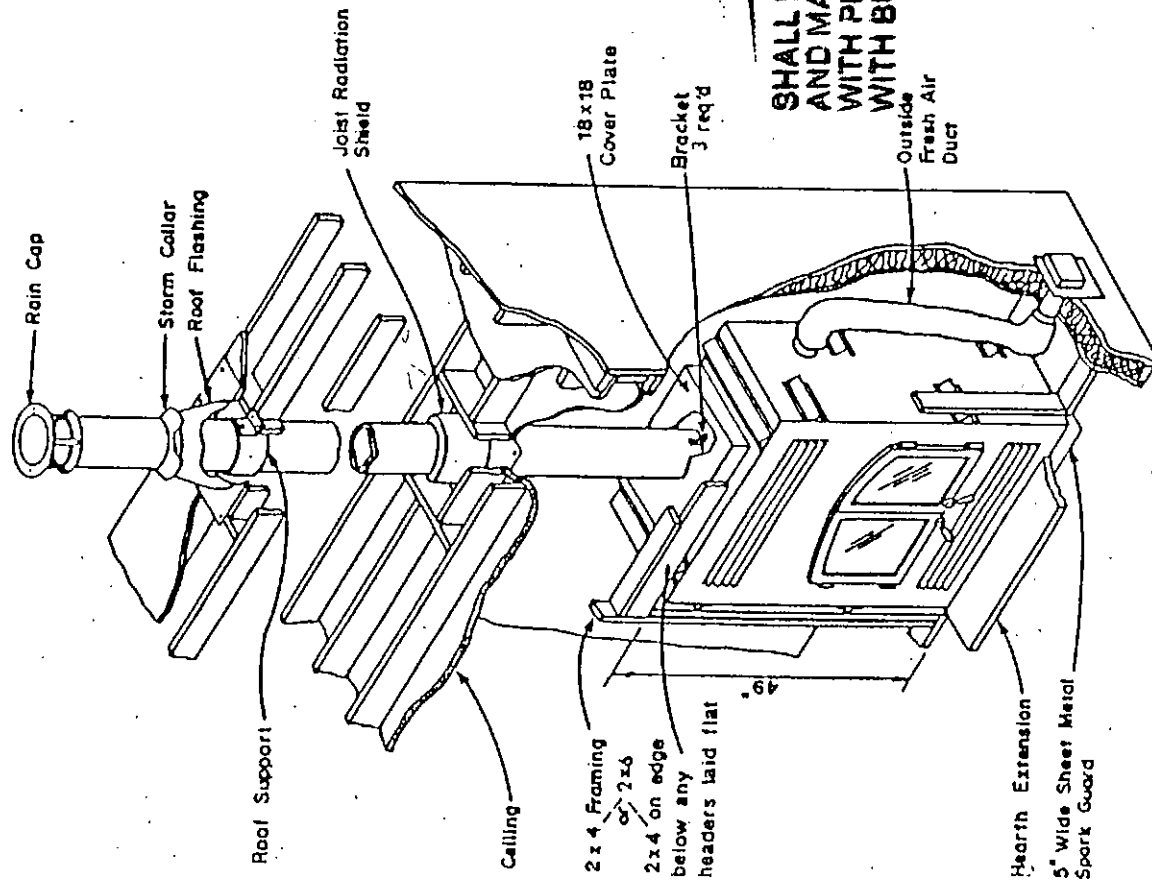
- OPTIONS**
- FAN ..... 200 CFM thermally activated with remote mounted rheostat control
  - DOOR ..... Tarnish-free gold
  - LOUVER ..... Tarnish-free gold
  - GLASS ..... Smoke glass
  - THERMOSTAT CONTROL ..... Standard wall mounted electric thermostat

**30 YEAR LIMITED WARRANTY**

Miller, C.L. & Betty J.S.  
 Site Location:  
 5255 Pine Flat Rd.  
 Healdsburg, Ca. 95448  
 AP-150-131-25  
 K-CLASS

**OPEL 2000 INSTALLATION**

Figure 5:



**APPROVED**  
 MAY 23 1990  
 Sonoma County Building Inspection Dept.

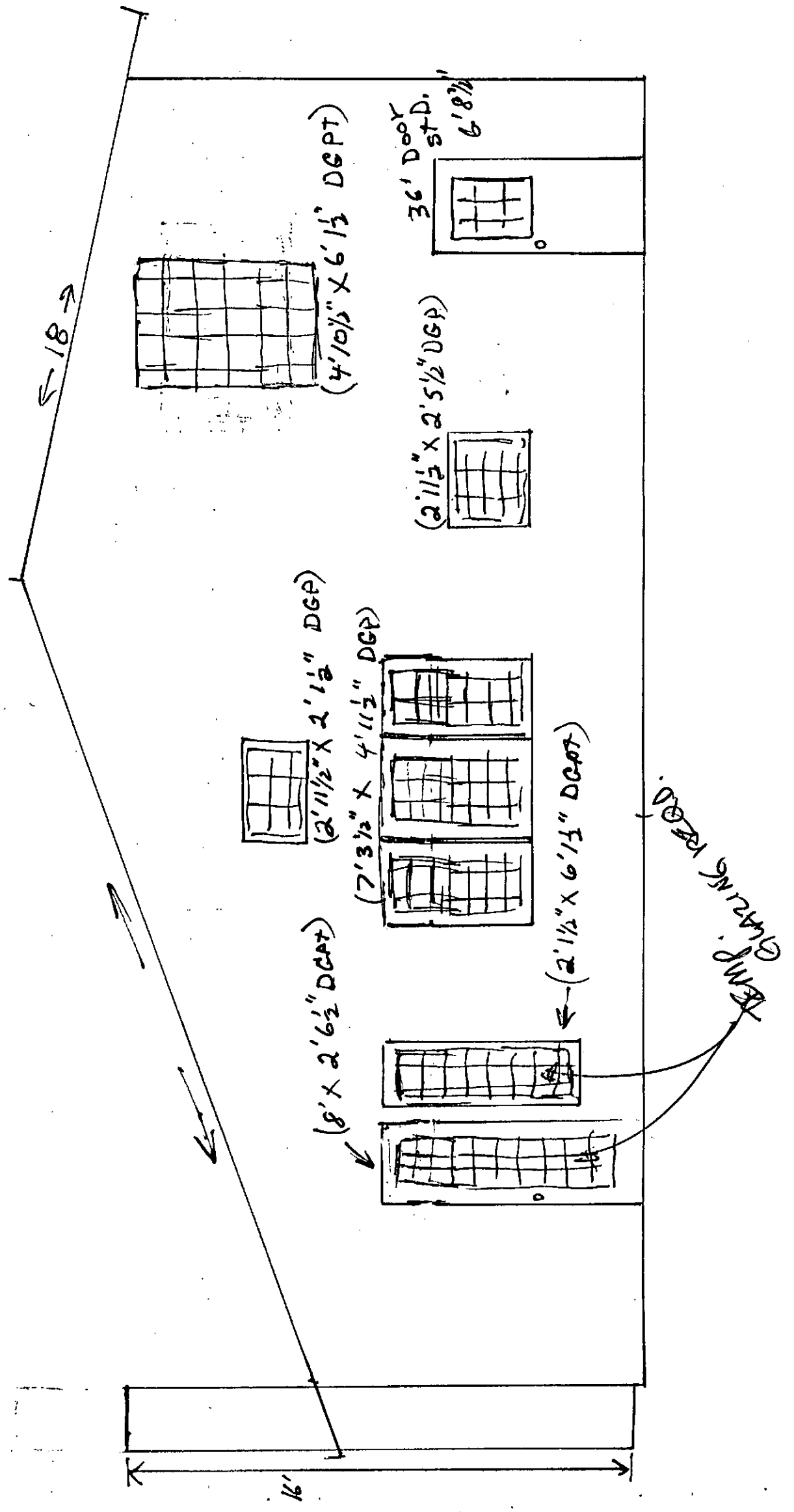
**WOODSTOVES SHALL BE INSTALLED PER ICBO AND MANUFACTURER'S REQUIREMENTS WITH PROPER CLEARANCES. VERIFY WITH BUILDING DEPARTMENT.**

North Facing

6.

M. Max, C.L. & Betty  
Site location:  
5255 Pine Flat Rd.  
Healdsburg, Ca 95448  
AP # 131-150-25  
K-CLASS  
C.L. Mellor

★ APPROVED ★  
MAY 23 1990  
Sonoma County  
Building Inspection Dept.



Miller, C.L. & Betty (JV)  
 Site location:  
 5255 Pine Flats Road  
 Healdsburg, Ca 95448 (VTR)  
 K-CLASS  
 C.L. Miller

EXEMPT FROM TITLE 24  
 ENERGY COMPLIANCE \* APPROVED \*  
 MAY 23 1990  
 Sonoma County  
 Building Inspection Dept.

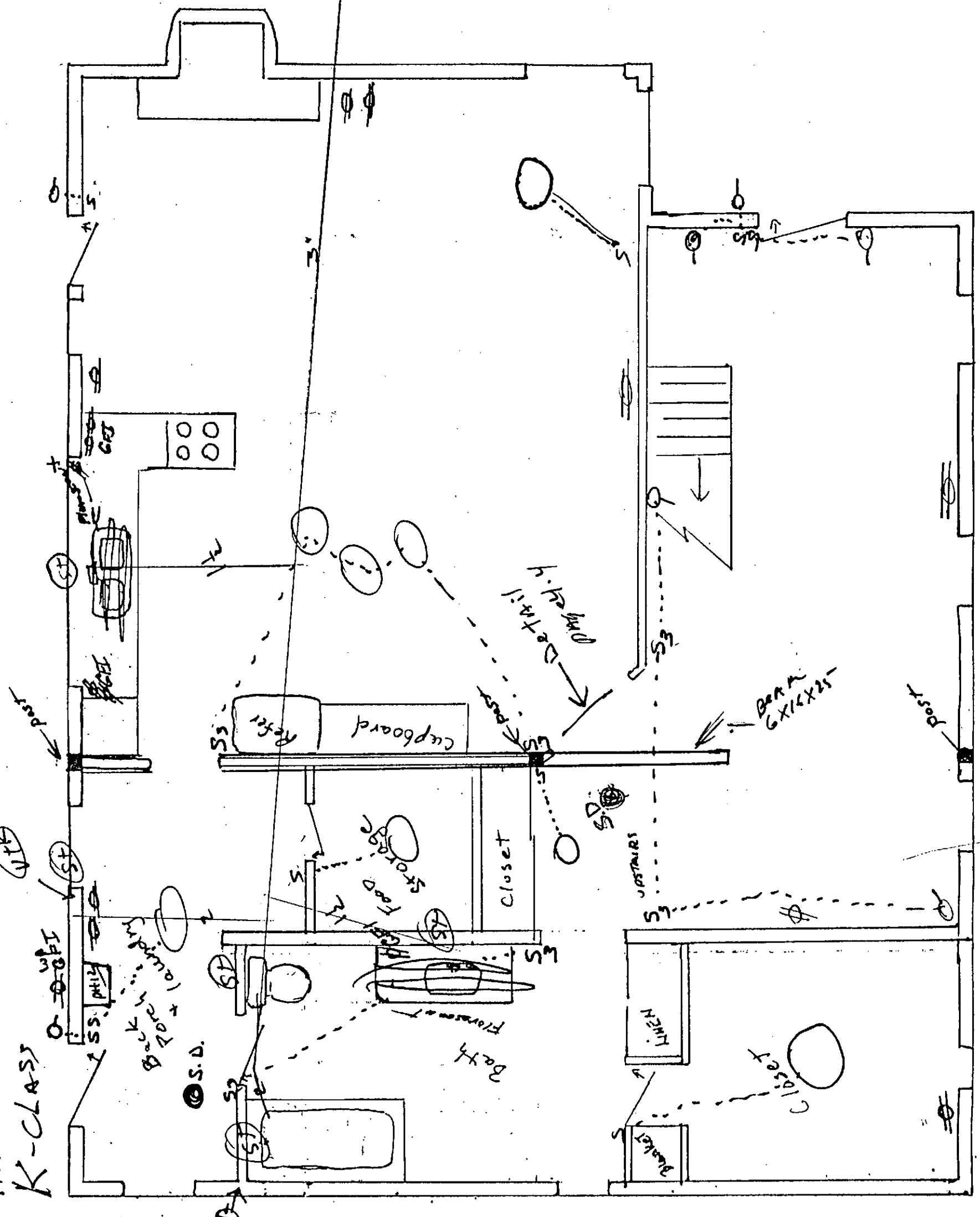
Electric: (SOLAR)  
 20 AMP GFI Kitchen  
 20 AMP GFI Laundry  
 15 AMP GFI - Outside Laundry  
 15 AMP GFI - Bath  
 All other circuits  
 15 AMP'S

WATER:  
 Cold water source to  
 APPLIANCE 3/4" (Include Risers)  
 Hot water from  
 PATONA PTH12 ON Demand  
 Heater 89,300 BTU to  
 be 1/2" (except Risers 3/4")  
 SOLAR  
 CONVERTED

DRAINAGE: (Septic)  
 W/C - MAIN DRAIN & VENT (VTR)  
 3" ABS  
 Laundry / tub - 2" ABS (VTR)  
 Sinks K/BATH 1 1/2" ABS 1/2"

HEATING: (WOOD)  
 Fireplace/INSERT  
 OPEZ 2000, meets CSA, ULc, &  
 UL STRAIGHT

COOKING: (PROPANE)  
 Propane - Located 25ft from  
 structure - 1/2 piping,  
 treated, wrapped 15"  
 underground to House with  
 (VALVE) outside Laundry  
 Area.



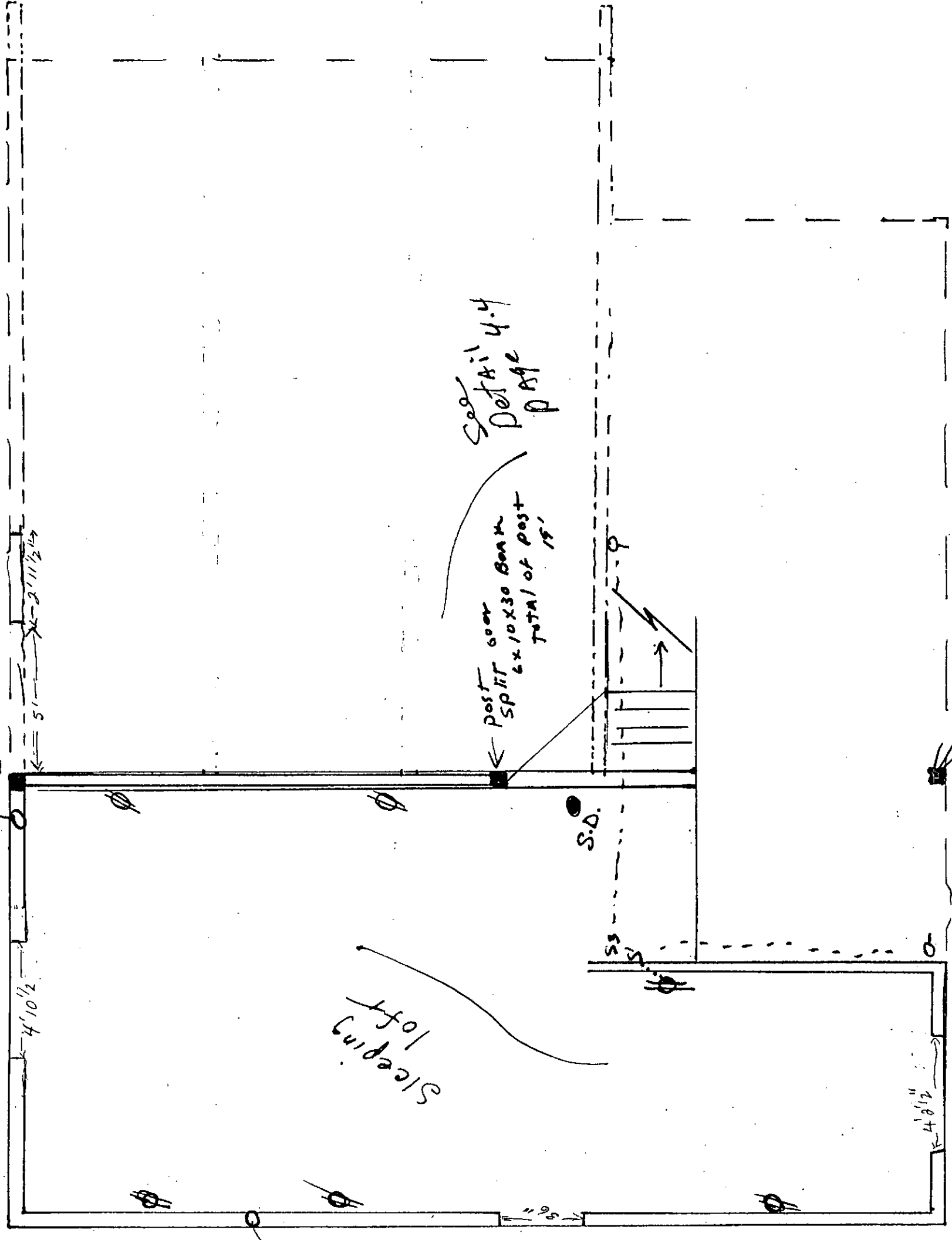
Miller, C.L. & Betty (Jr)

Site Location:

5255 Pineflats Road  
Healdsburg, CA 95448  
AP # 131-150-25

K-C/AS S. P. Miller

88.



Sleeping loft

1 3way Switch  
STAIRWAY

1 - switch to plug

All circuits  
15 AMPS

Floor Joists  
2x10 @ 16" O.C.

Floor 1/8 plywood  
T&G

See Detail 4.4  
Page 9

Post 6000  
SPRIT 6x10x30 Beam  
TOTAL of Post  
15'

★ APPROVED ★  
MAY 23 1990

Sonoma County  
Building Inspection Dept.

Post 19'

Elevation: 975 FT  
Center of 100 Acres  
See Dintown MRP  
Healdsburg Quadrangle  
#30/25

DRIVEWAY

80 FT.

PROPANE

120 FT.

APPROVED  
MAY 23 1990  
FISHBURN  
Alabama County  
Building Inspection Dept.

TO LEACH

15' MIN.

SAPTIC SYSTEM

STREET ADDRESS:  
5255 Pine Flats Rd.  
Healdsburg, CA 95948  
AP - 131-150-25

HOUSE  
K-CLASS

SOLAR PANELS  
(ELECTRIC)

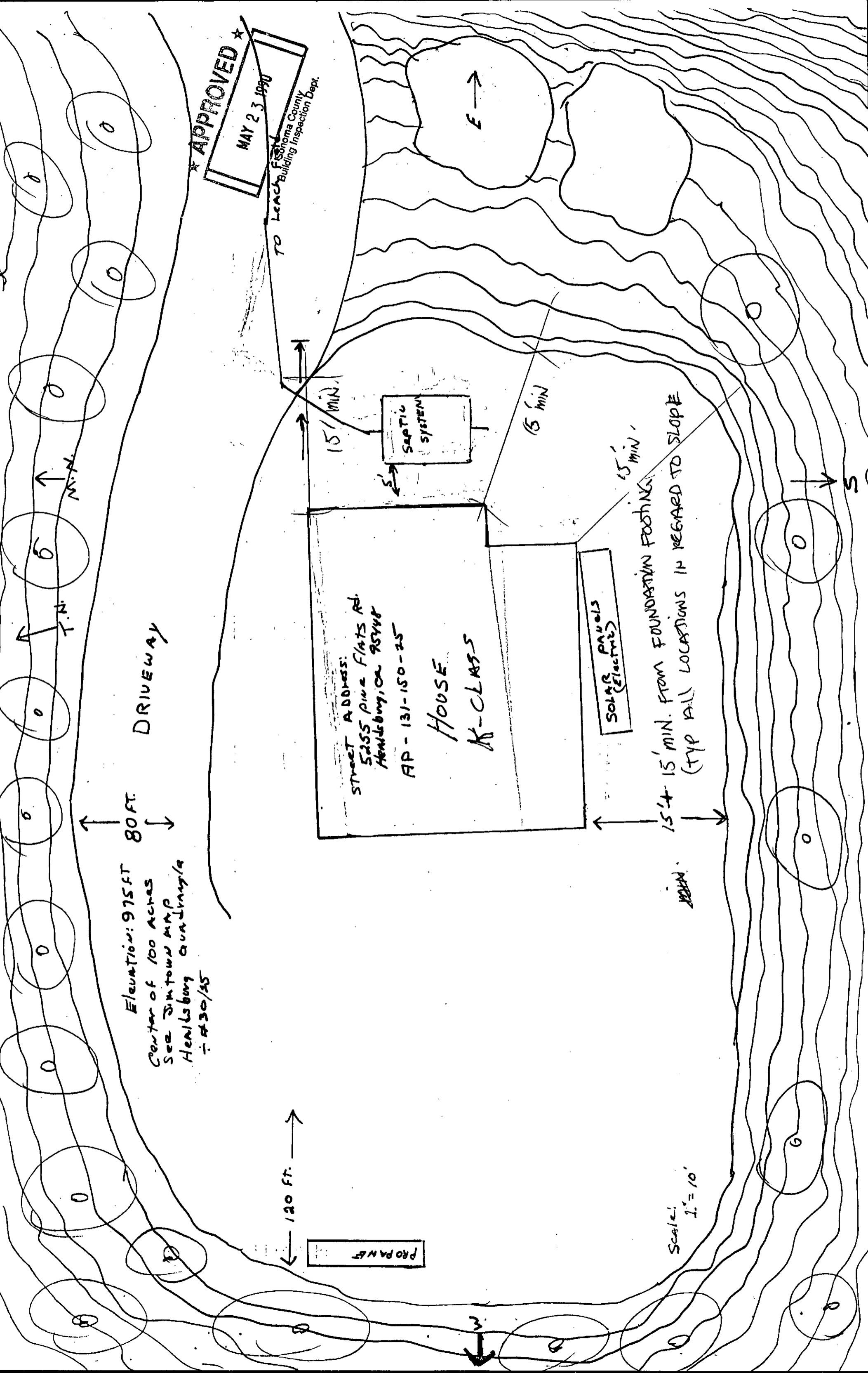
15' MIN. FROM FOUNDATION FOOTING  
(TYP ALL LOCATIONS IN REGARD TO SLOPE)

Scale:  
1" = 10'

W

S

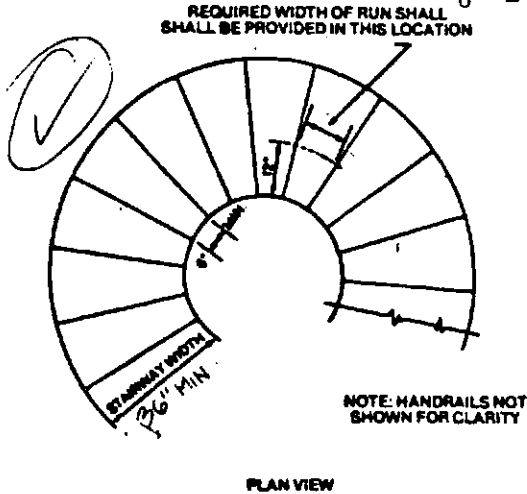
E



TYPICAL STAIRWAY LAYOUTS: FOR RESIDENTIAL USE

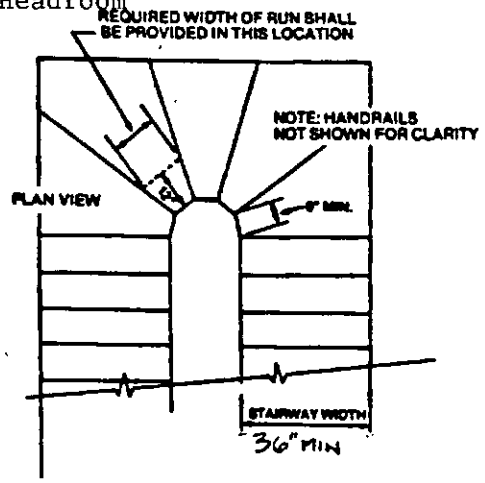
U.O.N. RISE - 4" Min. & 7" Max. (May be 8" Max. Serving  
 RUN - 11" Min. (May be 9" Min. less than  
 3,000ft<sup>2</sup>)

3/8" Max. variation in Rise and/or Run.  
 6' - 8" Min. Headroom



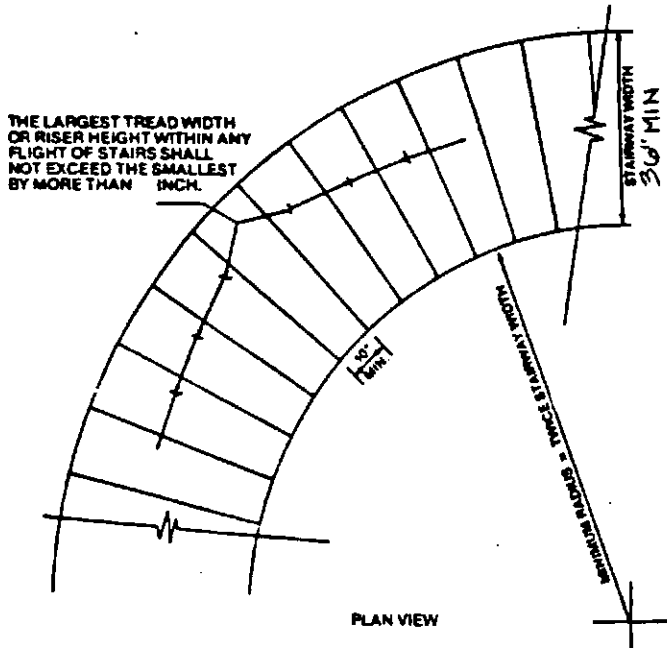
LIMITATION: APPLIES TO R-3 OCCUPANCY AND PRIVATE STAIRWAYS IN R-1 OCCUPANCY

WINDING STAIRWAY

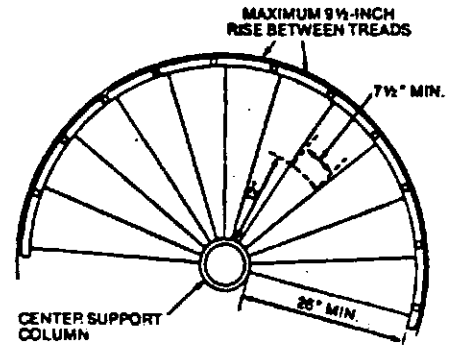


LIMITATION: APPLIES TO R-3 OCCUPANCY AND PRIVATE STAIRWAYS IN R-1 OCCUPANCY

WINDING STAIRWAY



CIRCULAR STAIRWAY



- LIMITATIONS: 1. LIMITED TO SERVING AS EXIT FOR 400 SQUARE FEET MAXIMUM.  
 2. APPLIES TO R-3 OCCUPANCY AND PRIVATE STAIRWAYS IN R-1 OCCUPANCY

SPIRAL STAIRWAY (ONLY)  
 6'-6" MIN. CLR. HEADROOM.

OTHERWISE, 6'-8"

★ APPROVED ★  
 OCT 22 1991  
 Sonoma County  
 Building Inspection Dept.

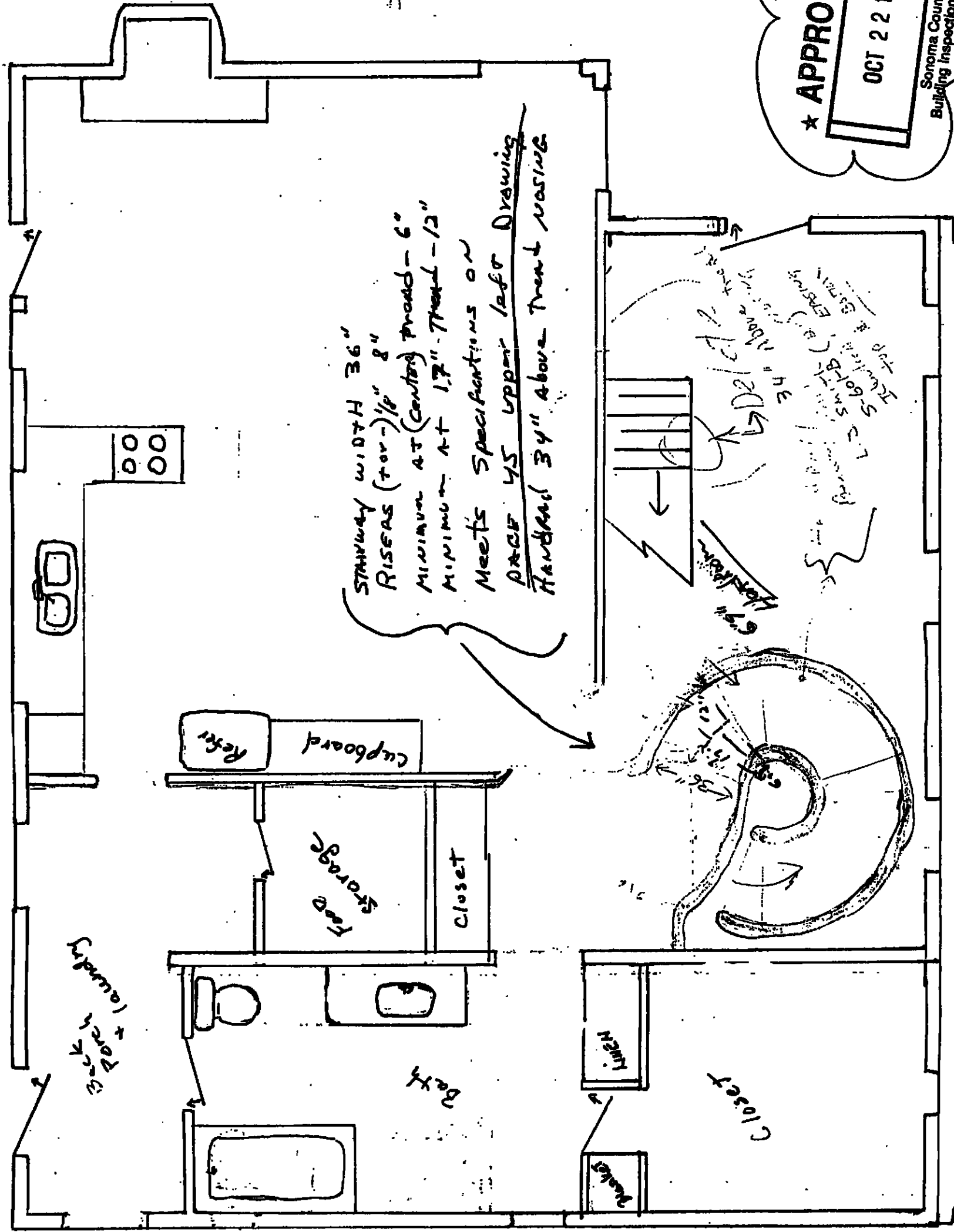
CHANGE  
ORDER

PERMIT

100 869-1

C. L. & Betty Miller  
5255 Pine Flat Road  
Healdsburg, CA. 95418

483-1890



STAIRWAY WIDTH 36"  
 RISES (top) 1/8" 8"  
 MINIMUM AT (center) Tread - 6"  
 MINIMUM AT 1/2" Tread - 12"  
 Meets Specifications on  
 PAGE 45 upper left Drawing  
 Handrail 34" Above Tread nosing

STAIRWAY:

typical 2x6 stringing - (See example)  
 1/4 ply nail 1/4 in bin nailed  
 Both sides

Treads - 6" - to 18" - with

11" AT APPROX 19" DISTANCE

from center of 36" TOTAL

tread (8" + 1/2" RISE)

Wire & Stucco Joint compound  
 over 3-Layers Gypsum & wired  
 plywood to 2x6 tapered stringing.

**\* APPROVED \***  
 OCT 22 1991  
 Sonoma County  
 Building Inspection Dept.

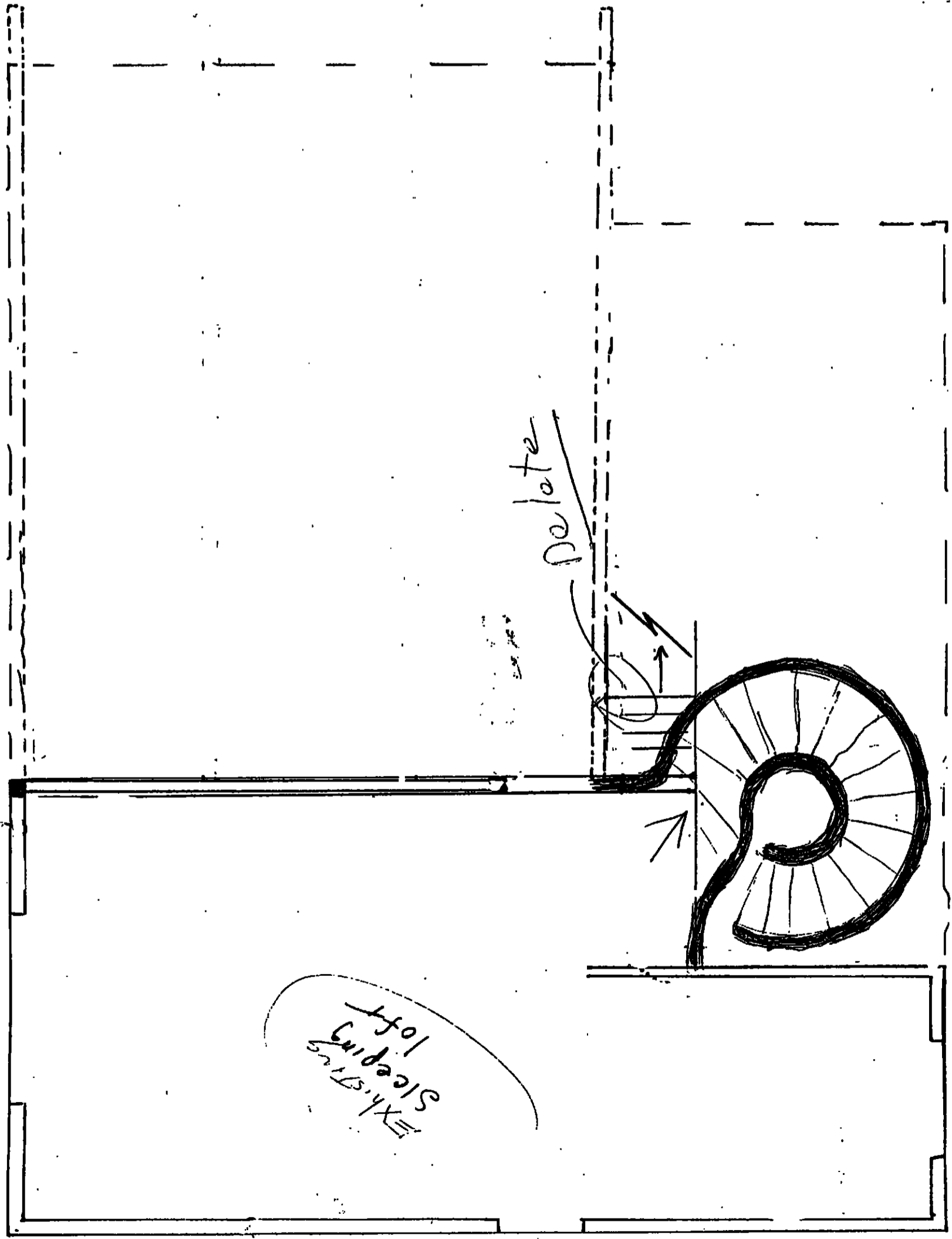
STAIR MUST MEET  
 WINDING STAIRWAY  
 EXAMPLE.

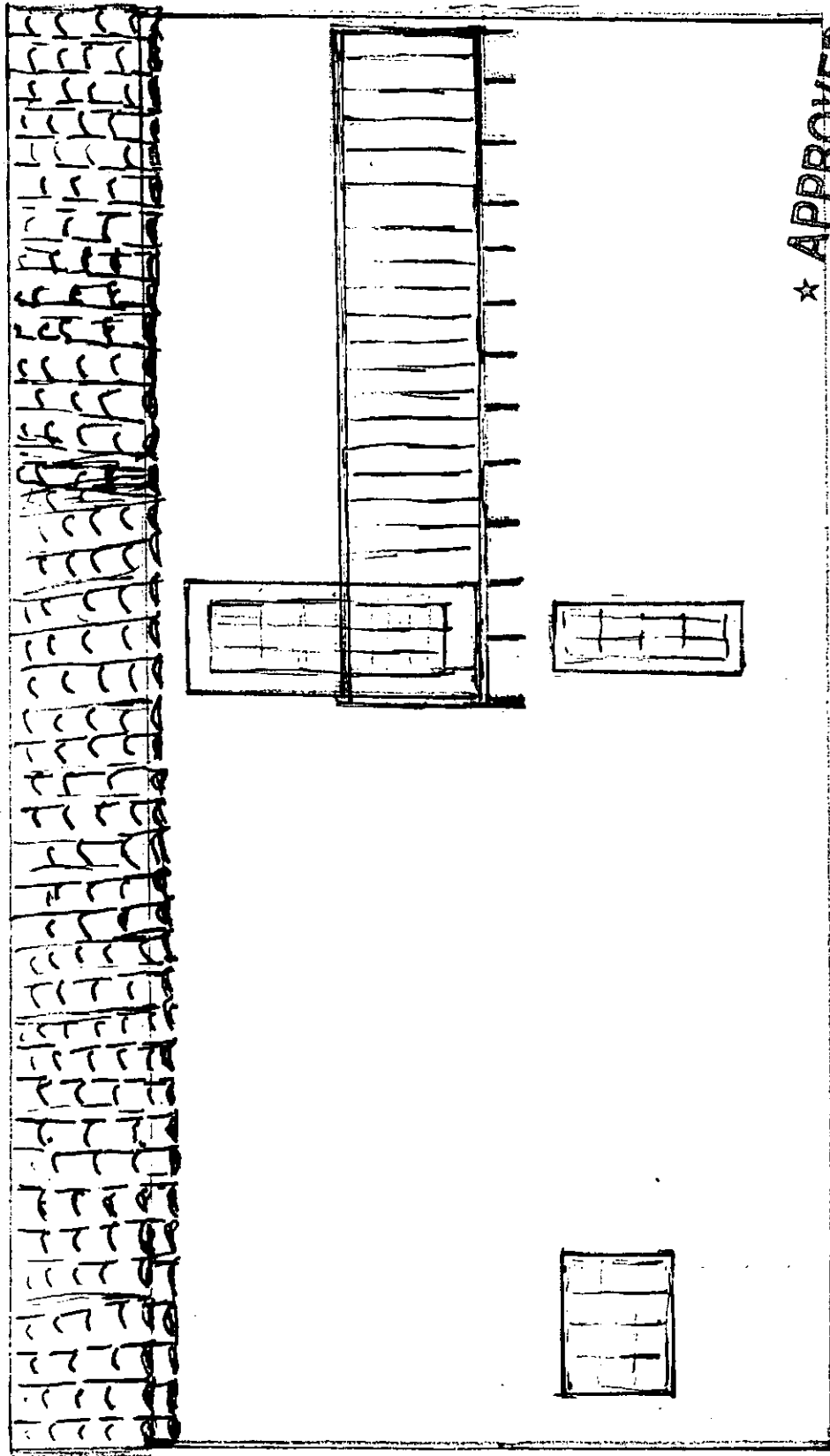
Miller, C.L. & Betty (5+)

Site Location: \_\_\_\_\_

5255 Pine Flats Road  
Healdsburg, CA 95428

CLASS R -



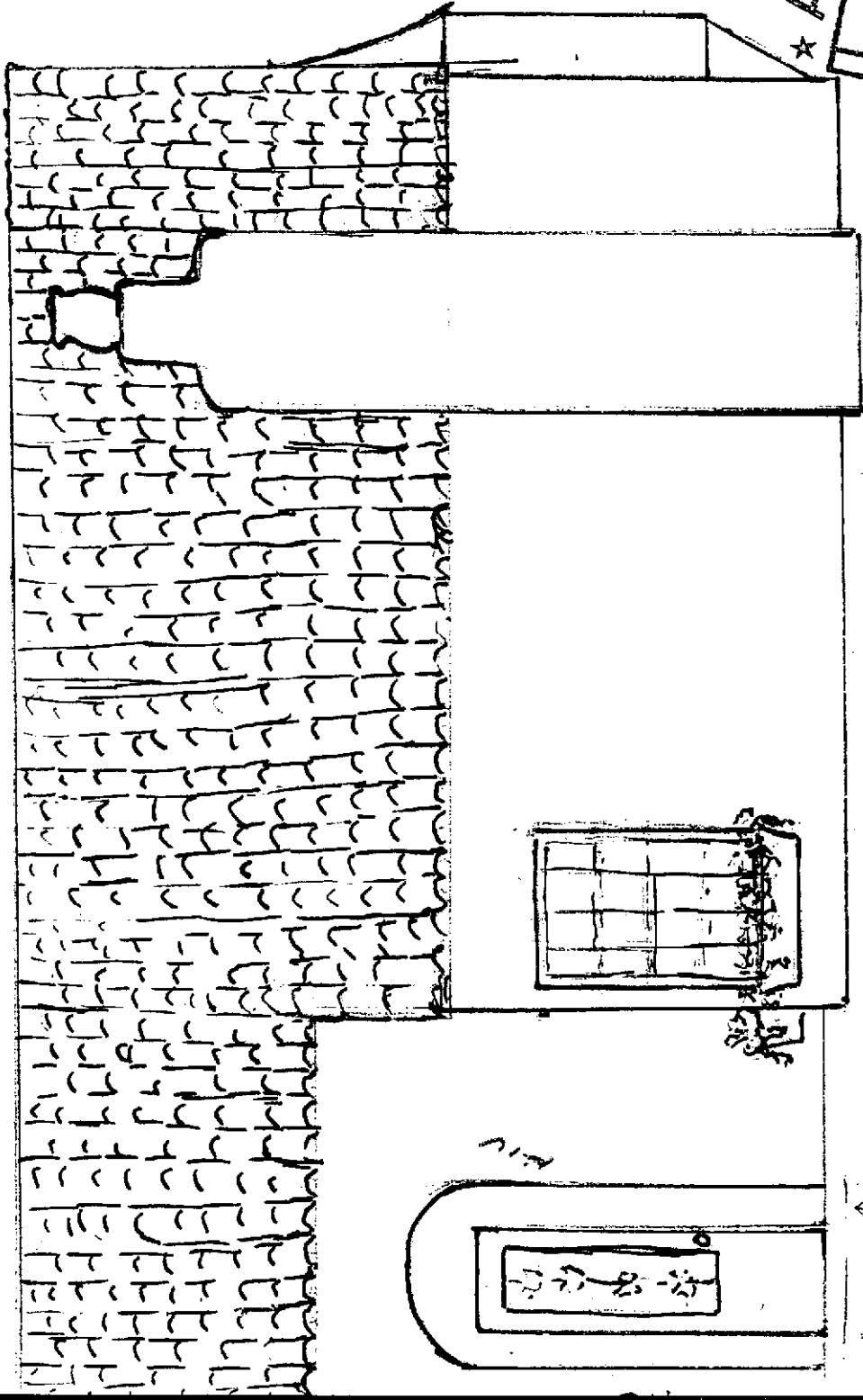


★ APPROVED ★

AUG 15 1990

Sonoma County  
Building Inspection Dept.

Permit A 100869-1



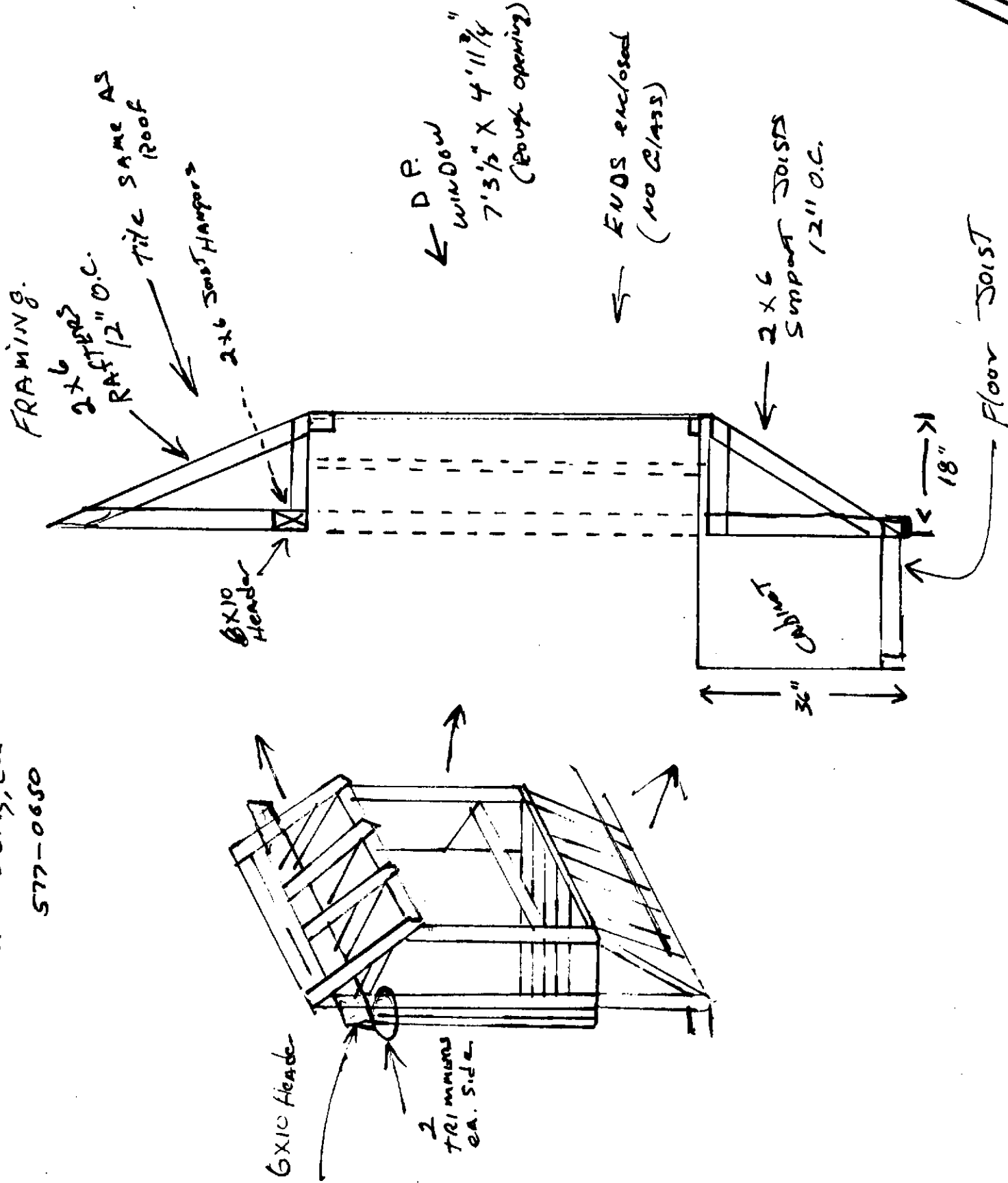
★ APPROVED ★  
AUG 1 - 1990  
Sonoma County  
Building Inspection Dept.

Change for  
Permit # 100869-1

C.L. Miller  
5255 Pine Flat Rd  
Healdsburg, Ca

577-0650

See page 42  
Sonoma County  
Residential Const.



★ APPROVED ★  
AUG 15 1990  
Sonoma County  
Building Inspection Dept.

CHANGE ORDER

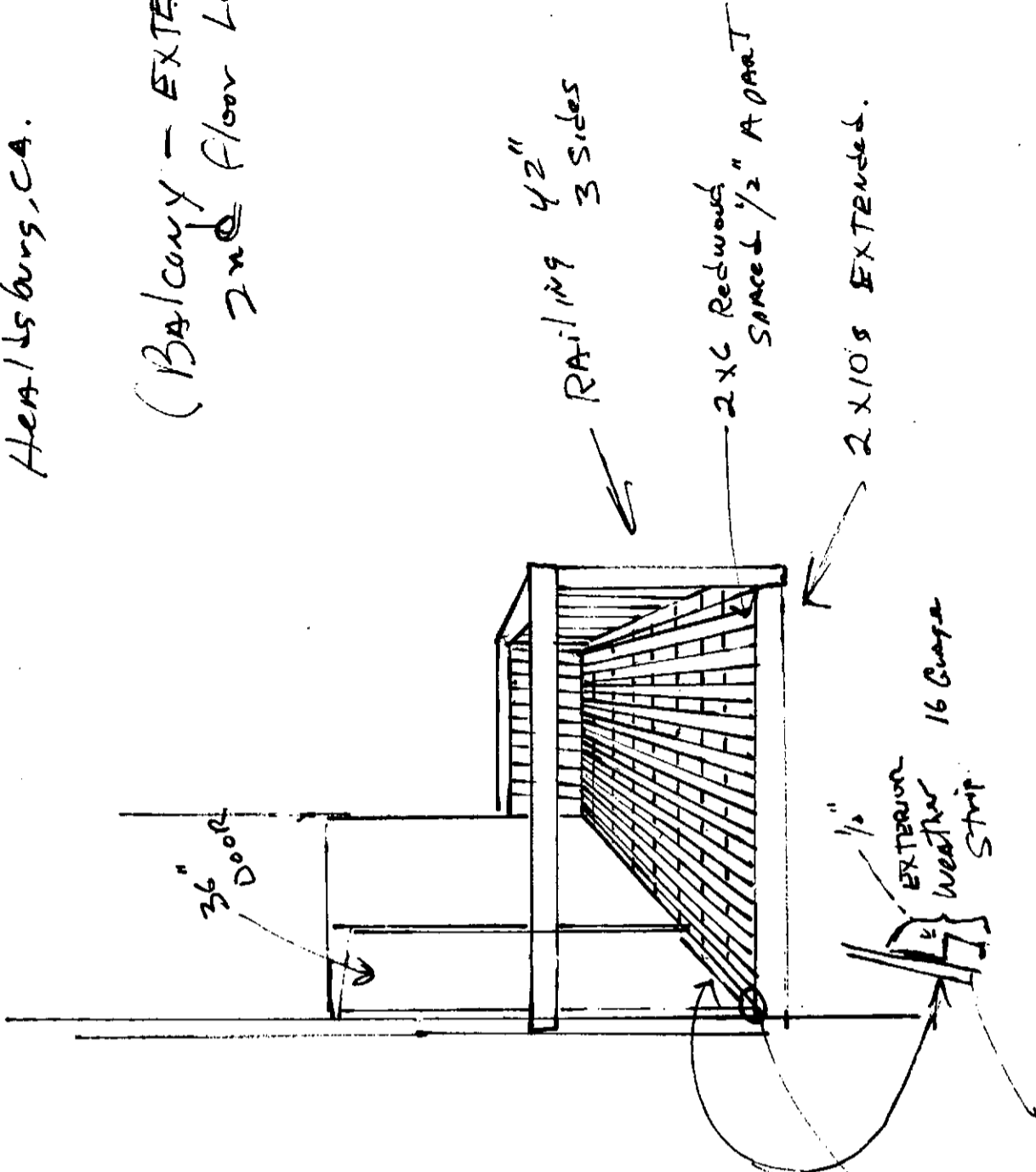
PERMIT # 100869-1

C. L. MILLER

5255 PINE FLAT RD.

HEALDSBURG, CA.

(BALCONY - EXTENSION  
2nd Floor Left)



2 bar  
caulked  
Between  
Side plate  
& Door sill  
(Side plate will  
NOT be cut out)

1/2"  
EXTENSION  
Weather  
Strip

16 Gauge

2 X 10'S EXTENDED.

2 X 6 Redwood  
SPACED 1/2" APART

RAILING 4 1/2"  
3 Sides

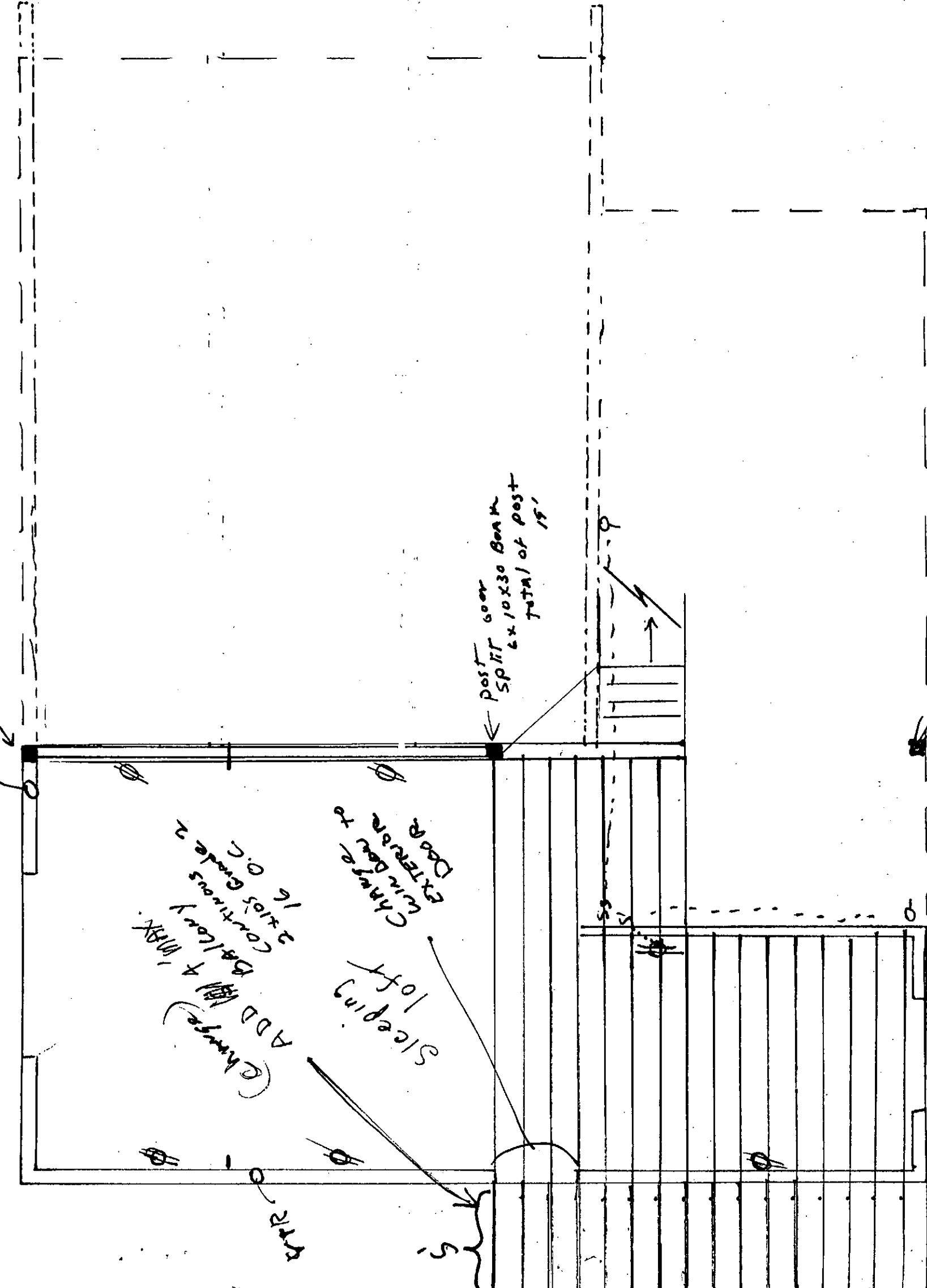
★ APPROVED ★

AUG 15 1991

Sonoma County  
Building Inspection Dept.

Miller, C.L. & Betty (Jr)  
SITE Location:  
5255 Pineflats Road  
Healdsburg, CA 95448

Permit # 100869-1



~~Sleeping loft~~  
~~1 Bay Switch~~  
~~1 Switch to plug~~  
~~All circuits~~  
~~15 AMP~~

~~Floor Joists~~  
~~2x8s/6 O.C.~~  
~~Floor 1/2\"/>~~

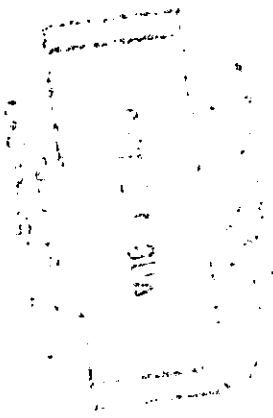
Change Requests

- #2 - window to door
- #3 ADA BALCONY
- 4 feet MAX. length

A 11/16

★ APPROVED ★  
AUG 15 1990  
Sonoma County  
Building Inspection Dept.

Post 19'



FILE

100869-1

FILE

100869-1