

B

Type

X

Plans

BLD14 - 0496

Permit Number

2291

Street Number

W. Hearn Ave

Street Name

BEL

Community Code

134 - 200 - 027

APN

**COUNTY OF SONOMA - PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403 (707) 565-1900 FAX (707) 565-1103

Please Print Your Name: Joella Gutierrez Date Applied: \_\_\_\_\_

**INFORMATION WITHIN HEAVY LINE TO BE COMPLETED BY APPLICANT**

**SITE LOCATION INFORMATION - PRINT CLEARLY**

Site Address: 2291 W. Hearn Avenue City: Santa Rosa ZIP: 95407  
 Cross-Street: Stony Point APN: 134-280-027 Project Phone #: (707) 2062537 Project Fax #: (707) 3601350  
 Directions: \_\_\_\_\_ Email address: joellagutierrez@live.com Unit #: \_\_\_\_\_ Lot #: \_\_\_\_\_  
 Describe Project: Family Room Addition - 416 sq ft  
- convert porch 128 sq ft + new 288 sq ft  
 Living Area: 416 Contract Price: \_\_\_\_\_  
 Garage: \_\_\_\_\_  
 Decks: \_\_\_\_\_

**OWNER NAME AND ADDRESS**

**APPLICANT NAME AND ADDRESS**

Name: Ernie Robles & Joella Gutierrez Name: Joella Gutierrez  
 Mailing Address: 2291 W. Hearn Ave. Mailing Address: 2291 W. Hearn Ave  
 City: Santa Rosa State: Ca ZIP: 95407 City: Santa Rosa State: Ca ZIP: 95407  
 Day Ph: 707 206 2537 Fax: 707 360-1350 Day Ph: 707 206 2537 Fax: 707 360 1350

**CONTRACTOR INFORMATION**

**OTHER PERSONS (ARCHITECT, ENGINEER, ETC.)**

Company Name: N/A Name: MKM ASSOC.  
 Address: \_\_\_\_\_ Address: 441 College ave  
 City: \_\_\_\_\_ City: Santa Rosa State: Ca ZIP: 95401  
 Day Ph: ( ) Fax: ( ) Day Ph: 707 578-8185 Fax: 707 578-7153

**WORKER'S COMPENSATION DECLARATION**

I hereby affirm under penalty of perjury one of the following declarations:  
 I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier Policy No. \_\_\_\_\_

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)  
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Exp. Date: \_\_\_\_\_ Applicant: \_\_\_\_\_

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. \_\_\_\_\_, B & P.C. for this reason \_\_\_\_\_

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following website: <http://www.leginfo.ca.gov/calaw.html>.

Date: \_\_\_\_\_ Signature of Property Owner or Authorized Agent: \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Lic. Class \_\_\_\_\_ Lic. No. \_\_\_\_\_

Exp. Date \_\_\_\_\_ Contractor \_\_\_\_\_

**ASBESTOS DECLARATION**

Written asbestos notification pursuant to Part 61 of Title 40 of the Code of Federal Regulations is required when asbestos exists in buildings, or portions thereof, undergoing demolition. I hereby declare that demolition authorized by this permit is from construction that  does  does not contain asbestos, or that  no demolition is authorized by this permit.

I certify that I have read this application and affirm under penalty of perjury that the above information is correct. I agree to comply with all local Ordinances and State laws relating to building construction. I hereby authorize representatives of the County of Sonoma to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption for the Worker's Compensation provision of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.

PERMITTEE SIGNATURE: \_\_\_\_\_  
 ADDRESS: 2291 W. Hearn Ave Santa Rosa Ca 95407  
 CITY ZIP

Contractor  Owner  Other Licensed Professional

**THIS PERMIT SHALL EXPIRE IN THREE(3) YEARS FROM DATE FEES ARE PAID UNLESS OTHERWISE NOTED BY CODE ENFORCEMENT**

**CONSTRUCTION LENDING DECLARATION**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civ. C.)

Lenders Name: N/A  
 Lenders Address: \_\_\_\_\_

**FOR DEPARTMENT USE**

Zoning: RABY V08H File No. \_\_\_\_\_ Acres: 0.50  
 Existing Use/Structures: SFD  
 Proposed Use/Structures: \_\_\_\_\_  
 Zoning Min. Yard Requirements: Front 20 Left 5 Right 5 Back 20  
 NOTE: Fire Safe Standards require all parcels greater than 1 Acre to have a min. 30' setback unless mitigated.  Mitigation Required  Address subject to change  
 Approval for Permit Issuance: \_\_\_\_\_ Approval for Occupancy: \_\_\_\_\_  
 By: \_\_\_\_\_ Date: 2/5/14  
 Conditions: \_\_\_\_\_

Sewer Connection:  Available  Fees Paid

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Road Encroachment:  Fees Paid

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Septic System Permit/Clearance #: SEU14-0105  
 Approved by: W Edm Date: 2-20-14

Flood Zone:  Yes  No 100 Year Flood Elevation: \_\_\_\_\_

Site Review

Drainage Review: Kiddell Date: 2/5/14

Fire: R/M Date: 2/5/14

Code Enforcement Violation  Yes  No Violation # \_\_\_\_\_

This permit is limited to \_\_\_\_\_ days.

Work Authorized: add Fam. room + porch to (E) SFD

<input checked="" type="checkbox"/> Plans Approved	<input type="checkbox"/> Post FIRM	<input type="checkbox"/> Alquist Priolo Report Available
<input type="checkbox"/> No Plans Subject to Field Inspection	<input type="checkbox"/> Pre FIRM	<input type="checkbox"/> Geotechnical report Available
Plancheck Cleared By: <u>[Signature]</u> Date: <u>2/18/14</u>	Type of Construction: <u>VB</u>	Occupancy: <u>03</u>
Permit Clearance by: <u>[Signature]</u> Date: <u>2/20/14</u>	Auto. Fire Sprinklers Req'd: <u>NO</u>	No. of Units: _____
Certificate of Occupancy: _____		

PAYMENT REC'D  
 S. \_\_\_\_\_  
 FEB 20 2014  
 PERMIT AND RESOURCE MANAGEMENT DEPARTMENT  
 COUNTY OF SONOMA

JOB ADDRESS: 2291 W Hearn Ave  
 BEL  
 PERMIT NUMBER: BUD14-0496  
 INSPECTION AREA: \_\_\_\_\_

131) SPECIAL INSPECTION REQUIRED		<input type="checkbox"/> YES	<input type="checkbox"/> NO	IF YES, SEE ADDITIONAL SHEET	
INSPECTION RECORD	DATE	NAME		REMARKS	
101) ROUGH GRADING					
103) FOUNDATION	2-21-14	J.C.			
FORMS/SETBACK					
FOOTING					
WALLS					
106) UFER GROUND #					
104) CAISSONS/PIERS					
105) SLAB					
107) UNDERGROUND UTILITIES					
110) MASONRY					
109) RETAINING WALLS					
113) FIREPLACE					
FOOTING					
HEARTH/PROTECTION					
THROAT					
114) CHIMNEY					
120) UNDERFLOOR/UNDERSLAB					
115) HYDRONICS					
116) U/F ELECTRICAL					
117) U/F MECHANICAL					
118) <del>U/F PLUMBING</del>	2-28-14	ARM			
119) U/F FRAMING					
139) U/F INSULATION					
126) SHEAR WALLS	3.5.14	lu			
<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR				
127) DIAPHRAGMS	(3.5.14)	lu		> SEE C.V.	
<input checked="" type="checkbox"/> ROOF <i>NAILING ONLY</i>	<input type="checkbox"/> FLOOR				
134) SIDING/SHEATHING					
125) HOLD DOWNS					
132) CLOSE-IN					
122) ROUGH ELECTRICAL	2/11/14	D.A.			
123) ROUGH MECHANICAL					
124) ROUGH PLUMBING					
128) ROUGH FRAME	2/11/14	lu			
160) SMOKE DETECTORS					
139) INSULATION					
142) WALLBOARD	3/13/14	lu			
143) FIREWALLS					
135) STUCCO/PLASTER					
<input type="checkbox"/> LATH	<input type="checkbox"/> SCRATCH				
137) ROOFING					
130) TUB/SHOWER PAN					
162) FIRE DAMPERS/DOORS					
164) SUSPENDED CEILING					
<input type="checkbox"/> ROUGH ELEC.	<input type="checkbox"/> ROUGH MECH.				
165) EXITING - RAMPS/STAIRS					
163) HANDRAILS/GUARDRAILS					
CORRIDORS/DOORS					
166) ACCESSIBILITY COMPLIANCE				650) SUSMP INSPECTION	
144) WATER TANKS				651) NPDES EROSION COMPLIANCE	
<input type="checkbox"/> SLAB	<input type="checkbox"/> WALLS			652) NPDES SEDIMENT COMPLIANCE	
170) TEMPORARY OCCUPANCY				653) NPDES DOCS/SWPPP	
171) TEMPORARY ELECTRICAL				FIRE INSPECTION REQUIRED	DATE NAME
172) TEMPORARY GAS				<input type="checkbox"/> Yes <input type="checkbox"/> No	
174) ELECTRIC METER AUTHORIZATION				759) KNOX BOX	
152) PANEL BOARDS/SERVICE				760) PROPANE TANK HOLD DOWNS	
189) SEPTIC ELECTRIC FINAL				770) SPRINKLER FINAL	
175) GAS METER AUTHORIZATION				771) ABOVEGROUND HYDROSTATIC	
153) GAS PRESSURE TEST				772) UNDERGROUND HYDROSTATIC	
HOUSE	YARD			773) UNDERGROUND FLUSH	
190) MANUF. HOME FOUNDATION				774) THRUST BLOCKS	
191) MANUF. HOME INSTALLATION				775) PIPE WELD	
CONTINUITY				776) HYDRANTS/APPLIANCES	
STAIRS/SKIRTS				777) PUMP ACCEPTANCE	
RIDGE BOLTING				778) WATER SUPPLY/TANK	
193) MANUF. HOME COND. FINAL				779) ALARM SYSTEM	
SWIMMING POOLS				780) HOOD & DUCT SYSTEM	
194) PRE-GUNITE				781) ABOVEGROUND TANK/DISPENSER	
195) PRE-DECK				198) FIRE FINAL	
196) PRE-PLASTER/FENCE				CLEARANCES:	
197) VINYL/FIBERGLASS POOL EXCAVATION				FIRE <input type="checkbox"/> Local <input type="checkbox"/> County	
102) GRADING FINAL				HEALTH DEPARTMENT	
176) ELECTRICAL FINAL	5-29-15	KM		ZONING	
177) MECHANICAL FINAL	5-29-15	KM		SANITATION	
178) PLUMBING FINAL					
199) FINAL	5-29-15	KM			
OCCUPANCY (OK TO OCCUPY)				PLAN RETENTION REQUIRED?	<input type="checkbox"/> Yes <input type="checkbox"/> No

PERMIT #

**SITE EVALUATION SHEET**

Address 2291 W Hearn Ave. BEL PC# Bld/14-0496

Inspector Mark Vinyard Date 2/7/14

The proposed construction appears to be located in:

Flood Hazard:	<input type="checkbox"/> FIRM Flood Zone (ASFH) BFE = _____ ft. NAVD. Lowest finish floor at 12 above BFE = _____ ft. NAVD. <input type="checkbox"/> Design for moving water is recommended Section _____ is _____ Ft/sec Section <u>1</u> is _____ Ft/sec <input type="checkbox"/> Area subject to flooding (not on adopted FIRM). <input type="checkbox"/> Project is on flood zone major damage list. <input type="checkbox"/> Flood Prone Urban Area defined by Ordinance #4906.	<input type="checkbox"/> Portions of property in flood zone but project site not in flood zone. <input type="checkbox"/> Building is in FIRM Floodway. <input type="checkbox"/> Main building on site is Post-FIRM. <input type="checkbox"/> Sensitive drainage area, review by drainage section recommended. <input type="checkbox"/> Appears to be a "substantial improvement" (40%), therefore flood regulations apply. <input type="checkbox"/> Located inside the <i>Laguna de Santa Rosa</i> below elevation of 75 ft (Ordinance #4906).
	Geo-technical: <input type="checkbox"/> Area of suspected slides, slumps, earth flow, or soil creep. (a) <input type="checkbox"/> Area of previous fill placement. (g) <input type="checkbox"/> Area of suspected expansive soil. (c) <input type="checkbox"/> Area without sufficient slope setback as set forth in UBC Section 1806. (b) <input type="checkbox"/> Area subject to possible liquefaction. (e) <input type="checkbox"/> Area of suspected soft, compressible, or organic soil with low bearing capacity. Soils Investigation:	<input type="checkbox"/> Area without recommended setback from stream (Drainage Division recommendations). <input type="checkbox"/> Area of high moisture content in soil. (f) <input type="checkbox"/> Area subject to high erosion (water or wind). <input type="checkbox"/> Area of soft soil due to past deep ripping or cultivation below minimum foundation depth. (h) <input type="checkbox"/> Area within 1000 feet of a solid waste disposal site. <input type="checkbox"/> Non exempt structure per tech bulletin B-28.
Geologic:	<input type="checkbox"/> Located in the Alquist-Priolo Special Studies Zone.	Required <input type="checkbox"/> Included <input type="checkbox"/> Available <input type="checkbox"/> Not Required <input type="checkbox"/> <input type="checkbox"/> Geologic report required (see CGS Publication 42).
Seismic:	Seismic Design Category (SDC) <u>D</u> <input checked="" type="checkbox"/> E <input type="checkbox"/>	<input checked="" type="checkbox"/> Pictures available in S Drive
General:	<input type="checkbox"/> Building addition will affect the required light and ventilation in an existing room. <input type="checkbox"/> Existing electric meter must be replaced. <input type="checkbox"/> Existing gas meter must be replaced. Slope is <u>0</u>	<input type="checkbox"/> Indications of existing substandard conditions that are not addressed by the proposed construction. <input type="checkbox"/> Indications of past work done without a permit. <input type="checkbox"/> Grading permit required for road, driveway, or site preparation. <input type="checkbox"/> Site is likely to be acceptable for conventional construction methods.
Wind:	Exposure "B" Exposure " <u>C</u> " Exposure "D"	N.S.C. Air Pollution Control District..... <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Existing house on flat land. Forms built for foundation.  
 No unusual conditions.

# Smoke/CO Alarm Self Verification Form

CNI-037

Building Permit # BUD14-0496

Dear Property Owner:

The California Residential Code (CRC) requires carbon monoxide alarms (CO alarms) in dwellings as well as smoke alarms when building permits are issued and the scope of work exceeds a total cost or calculated valuation of \$1,000. In order to grant a final approval on your permit, it is necessary to verify the installation of these alarms within your dwelling. This form provides the ability to self-verify to PRMD when work done does not allow convenient access to the interior of the dwelling (e.g., re-roof or other exterior work).

As of January 1, 2014, all new and replacement battery-operated smoke alarms must be equipped with a non-replaceable, non-removable battery capable of powering the alarm for 10 years. All existing smoke alarms shall be replaced after 10 years from the date of manufacture or if the date of manufacture cannot be determined.

By signing this document, the property owner certifies to PRMD that both smoke alarms and CO alarms have been installed on the above referenced project as specified below:

Smoke alarms are installed in accordance with the approved manufacturer's instructions in all of the following areas:

- Each sleeping unit
- In hallways of areas giving access to the sleeping units
- On each floor, if a multi-story
- In the basement, if a basement exists

Carbon Monoxide alarms are installed in accordance with the approved manufacturer's instructions in all of the following areas where fossil fuel burning appliances are installed, including fireplaces:

- Outside each sleeping unit
- On every floor level of dwelling unit, including basements, outside each sleeping unit

Please fill in the permit number above and the requested information below and return the form by mail to the Sonoma County Permit and Resource Management Department, Building & Safety Division, 2550 Ventura Avenue, Santa Rosa, CA 95403. Alternatively, this form may be submitted to the building inspector at the time the final inspection is performed.

Ernie Robles  
Property Owner's Name

Ernie Robles  
Signature

3/28/14  
Date

2291 W. Hearn Avenue  
Project Address

Ken Murphy  
Inspector

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403-2829 (707) 565-1900 Fax (707) 565-1972

# Statement of Special Inspections

CNI-033

Name of Owner

*[Signature]*  
BL014 0496

Permit Number

Address

2291 WEST HEARN AVE.

Job Description

RESIDENTIAL ADDITIONS

This Statement of Special Inspections is submitted to outline the requirements of CBC Chapter 17.

Included are:

- Schedule of special inspections and tests applicable to this project:
  - Special inspections, per Section 1704
  - Special inspection for seismic resistance, per Sections 1707 and 1708
  - Structural observations, per Section 1710
  - Material testing and/or load testing, per Sections 1711 through 1716
- List of the special inspectors, testing agencies, and registered design professionals that will be retained to conduct the applicable tests, observations, and testing required.
- Contractor's statement of responsibility, per Section 1709

Special inspections and testing, and structural observations, shall be performed in accordance with the approved plans and specifications, this statement, approved testing procedures, applicable listing information for fabricated items, and CBC Section 17.

The Schedule of Special Inspections summarizes the special inspections and tests required. Special inspectors shall refer to the approved plans and specifications for detailed special inspection requirements. Any additional tests or observations required by the approved plans, specifications, or required by the building official shall also be performed.

Interim reports will be submitted to the building official and the registered design professional in responsible charge, in accordance with CBC Sections 1704.1.2 and 1710.

At the conclusion of work included in the permit, a report of special inspections and structural observations shall be submitted to the building official. This final report shall document:

- Required special inspections
- Final results of structural testing
- Correction of discrepancies noted in inspections
- Written statement of structural observations, and identify any reported deficiencies which, to the best of the structural observer's knowledge, have not been resolved

This plan has been developed with the understanding that the building official shall:

- Review and approve the qualifications of special inspectors who shall perform required inspections
- Review submitted inspection reports
- Perform inspections as required by the locally adopted building codes

Prepared by:

Registered Design Professional in Responsible Charge

Signature

Owner's Authorization:

Owner

Signature

Date

License Number

Date

Building official's acceptance:

Building official

Signature

Date

C26311

1/28/2014

W. H. CRAWFORD

2/14/14

**PERFORMANCE CERTIFICATE: Residential** (Part 1 of 5) **CF-1R**

Project Name <i>Robles Addition</i>	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration	Date <i>2/4/2014</i>
Project Address <i>2291 West Hearn Avenue Santa Rosa</i>	California Energy Climate Zone <i>CA Climate Zone 02</i>	Total Cond. Floor Area <i>1,924</i>
	Addition <i>432</i>	# of Stories <i>1</i>

**FIELD INSPECTION ENERGY CHECKLIST**

Yes  No HERS Measures -- If Yes, A CF-4R must be provided per Part 2 of 5 of this form.  
 Yes  No Special Features -- If Yes, see Part 2 of 5 of this form for details.

INSULATION		Area	Special	
Construction	Type	Cavity	(ft <sup>2</sup> )	Features (see Part 2 of 5)
Wall	Wood Framed	R-11	857	Existing
Door	Opaque Door	None	40	Existing
Wall	Wood Framed	R-11	140	Existing
Roof	Wood Framed Attic	R-30	1,492	Existing
Floor	Wood Framed w/Crawl Space	R-19	1,492	Existing
Wall	Wood Framed	R-13	416	New
Wall	Wood Framed	R-13	144	New
Roof	Wood Framed Attic	R-30	432	New

FENESTRATION		U-Factor	SHGC	Overhang	Sidefins	Exterior Shades	Status
Orientation	Area(ft <sup>2</sup> )						
Front (E)	68.0	0.580	0.65	none	none	Bug Screen	Existing
Left (S)	40.0	0.400	0.35	none	none	Bug Screen	Existing
Rear (W)	40.0	0.400	0.35	none	none	Bug Screen	Existing
Rear (W)	35.0	0.580	0.65	none	none	Bug Screen	Existing
Right (N)	76.0	0.580	0.65	none	none	Bug Screen	Existing
Rear (W)	24.0	0.400	0.35	none	none	Bug Screen	New
Right (N)	40.0	0.400	0.35	none	none	Bug Screen	New

HVAC SYSTEMS						
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status
1	Central Furnace	78% AFUE	No Cooling	13.0 SEER	Setback	Existing

HVAC DISTRIBUTION				
Location	Heating	Cooling	Duct Location	Duct R-Value
ex System - FAU and AC	Ducted	Ducted	Attic, Ceiling Ins, vented	4.2

WATER HEATING					
Qty.	Type	Gallons	Min. Eff	Distribution	Status

**PERFORMANCE CERTIFICATE: Residential** (Part 1 of 5) **CF-1R**

Project Name <i>Robles Addition</i>	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration	Date <i>2/4/2014</i>
Project Address <i>2291 West Hearn Avenue Santa Rosa</i>	California Energy Climate Zone <i>CA Climate Zone 02</i>	Total Cond. Floor Area <i>1,924</i>
	Addition <i>432</i>	# of Stories <i>1</i>

**FIELD INSPECTION ENERGY CHECKLIST**

Yes  No HERS Measures -- If Yes, A CF-4R must be provided per Part 2 of 5 of this form.  
 Yes  No Special Features -- If Yes, see Part 2 of 5 of this form for details.

**INSULATION**

Construction Type	Cavity	Area (ft <sup>2</sup> )	Special Features (see Part 2 of 5)	Status
<i>Floor Wood Framed w/Crawl Space</i>	<i>R-19</i>	<i>432</i>		<i>New</i>

**FENESTRATION**

Orientation	Area(ft <sup>2</sup> )	U-Factor	SHGC	Overhang	Sidedefins	Exterior Shades	Status

**HVAC SYSTEMS**

Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status

**HVAC DISTRIBUTION**

Location	Heating	Cooling	Duct Location	Duct R-Value	Status

**WATER HEATING**

Qty.	Type	Gallons	Min. Eff	Distribution	Status

**PERFORMANCE CERTIFICATE: Residential**

(Part 2 of 5)

**CF-1R**

Project Name  
*Robles Addition*

Building Type  Single Family  Addition Alone  
 Multi Family  Existing+ Addition/Alteration

Date  
*2/4/2014*

**SPECIAL FEATURES INSPECTION CHECKLIST**

The enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification to be used with the performance approach. The enforcement agency determines the adequacy of the justification, and may reject a building or design that otherwise complies based on the adequacy of the special justification and documentation submitted.

*The HVAC System FAU 78% AFUE does not include a cooling system, field verification is not necessary.*

**HERS REQUIRED VERIFICATION**

Items in this section require field testing and/or verification by a certified HERS Rater. The inspector must receive a completed CF-4R form for each of the measures listed below for final to be given.

**PERFORMANCE CERTIFICATE: Residential** (Part 3 of 5) **CF-1R**

Project Name: *Robles Addition* Building Type:  Single Family  Addition Alone  Multi Family  Existing+ Addition/Alteration Date: *2/4/2014*

**ANNUAL ENERGY USE SUMMARY**

TDV (kBtu/ft <sup>2</sup> -yr)	Standard	Proposed	Margin
Space Heating	46.53	43.03	3.49
Space Cooling	30.19	27.88	2.31
Fans	12.76	11.87	0.89
Domestic Hot Water	19.75	19.75	0.00
Pumps	0.00	0.00	0.00
<b>Totals</b>	<b>109.23</b>	<b>102.53</b>	<b>6.69</b>
<b>Percent Better Than Standard:</b>			<b>6.1 %</b>

**BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED**

Building Front Orientation:	Ext. Walls/Roof	Wall Area	Fenestration Area
<i>(E) 90 deg</i>	<i>(E)</i>	<i>704</i>	<i>68</i>
Number of Dwelling Units: <i>1.00</i>	<i>(S)</i>	<i>328</i>	<i>40</i>
Fuel Available at Site: <i>Natural Gas</i>	<i>(W)</i>	<i>400</i>	<i>99</i>
Raised Floor Area: <i>1,924</i>	<i>(N)</i>	<i>488</i>	<i>116</i>
Slab on Grade Area: <i>0</i>	<i>Roof</i>	<i>1,924</i>	<i>0</i>
Average Ceiling Height: <i>8.0</i>			
Fenestration Average U-Factor: <i>0.50</i>			
Average SHGC: <i>0.52</i>			
The Standard CFA Ratio:			<i>16.8 %</i>

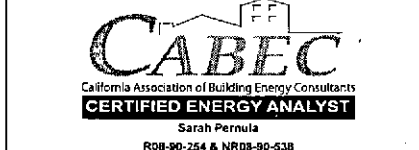
**BUILDING PLAN CHECK**

**APPROVED**  
 FEB 14 2014  
 PERMIT AND RESOURCE  
 MANAGEMENT DEPARTMENT

**REMARKS**

**STATEMENT OF COMPLIANCE**

This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 the Administrative Regulations and Part 6 the Efficiency Standards of the California Code of Regulations.



The documentation author hereby certifies that the documentation is accurate and complete.

**Documentation Author**  
 Company: *SOLDATA Energy Consulting* Name: *Sarah Pernula*  
 Address: *2235 Challenger Way, Suite 103* Phone: *707 545-4440*  
 City/State/Zip: *Santa Rosa, CA 95407* Signed: \_\_\_\_\_ Date: *2/4/2014*

The individual with overall design responsibility hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application, and recognizes that compliance using duct design, duct sealing, verification of refrigerant charge, insulation installation quality, and building envelope sealing require installer testing and certification and field verification by an approved HERS rater.

**Designer or Owner (per Business & Professions Code)**  
 Company: \_\_\_\_\_ Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_ Signed: \_\_\_\_\_ License #: \_\_\_\_\_ Date: \_\_\_\_\_

**CERTIFICATE OF COMPLIANCE: Residential**

(Part 4 of 5)

**CF-1R**

Project Name <i>Robles Addition</i>	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration	Date <i>2/4/2014</i>
--	--	-------------------------

**OPAQUE SURFACE DETAILS**

Surface Type	Area	U-Factor	Insulation				Azm	Tilt	Status	Joint Appendix 4	Location/Comments
			Cavity	Exterior	Frame	Interior					
Wall	312	0.110	R-11				90	90	Existing	4.3.1-A2	ex residence
Door	20	0.600	None				90	90	Existing	4.5.1-A5	ex residence
Wall	88	0.110	R-11				180	90	Existing	4.3.1-A2	ex residence
Wall	64	0.110	R-11				180	90	Removed	4.3.1-A2	ex residence
Wall	181	0.110	R-11				270	90	Existing	4.3.1-A2	ex residence
Wall	144	0.110	R-11				270	90	Removed	4.3.1-A2	ex residence
Door	20	0.600	None				270	90	Removed	4.5.1-A5	ex residence
Wall	276	0.110	R-11				0	90	Existing	4.3.1-A2	ex residence
Wall	140	0.110	R-11				90	90	Existing	4.3.1-A2	ex residence
Door	20	0.600	None				90	90	Existing	4.5.1-A5	ex residence
Roof	1,492	0.032	R-30				90	22	Existing	4.2.1-A8	ex residence
Floor	1,492	0.037	R-19				0	180	Existing	4.4.1-A4	ex residence
Wall	200	0.102	R-13				180	90	New	4.3.1-A3	addition
Wall	120	0.102	R-13				270	90	New	4.3.1-A3	addition
Wall	96	0.102	R-13				0	90	New	4.3.1-A3	addition
Wall	144	0.102	R-13				90	90	New	4.3.1-A3	addition

**FENESTRATION SURFACE DETAILS**

ID	Type	Area	U-Factor <sup>1</sup>		SHGC <sup>2</sup>		Azm	Status	Glazing Type	Location/Comments
1	Window	16.0	0.580	Default	0.65	Default	90	Existing	Double NonMetal Clear	ex residence
2	Window	16.0	0.580	Default	0.65	Default	90	Existing	Double NonMetal Clear	ex residence
3	Window	16.0	0.580	Default	0.65	Default	90	Existing	Double NonMetal Clear	ex residence
4	Window	20.0	0.580	Default	0.65	Default	90	Existing	Double NonMetal Clear	ex residence
5	Window	40.0	0.400	NFRC	0.35	NFRC	180	Existing	NFRC .40/35 door	ex residence
6	Window	40.0	0.400	NFRC	0.35	NFRC	270	Existing	NFRC .40/35 door	ex residence
7	Window	16.0	0.580	Default	0.65	Default	270	Existing	Double NonMetal Clear	ex residence
8	Window	16.0	0.580	Default	0.65	Default	270	Existing	Double NonMetal Clear	ex residence
9	Window	3.0	0.580	Default	0.65	Default	270	Existing	Double NonMetal Clear	ex residence
10	Window	20.0	0.580	Default	0.65	Default	0	Existing	Double NonMetal Clear	ex residence
11	Window	20.0	0.580	Default	0.65	Default	0	Existing	Double NonMetal Clear	ex residence
12	Window	20.0	0.580	Default	0.65	Default	0	Existing	Double NonMetal Clear	ex residence
13	Window	16.0	0.580	Default	0.65	Default	0	Existing	Double NonMetal Clear	ex residence
14	Window	24.0	0.400	NFRC	0.35	NFRC	270	New	NFRC .40/35 window	addition
15	Window	40.0	0.400	NFRC	0.35	NFRC	0	New	NFRC .40/35 door	addition

- (1) U-Factor Type: 116-A = Default Table from Standards, NFRC = Labeled Value  
 (2) SHGC Type: 116-B = Default Table from Standards, NFRC = Labeled Value

**EXTERIOR SHADING DETAILS**

ID	Exterior Shade Type	SHGC	Window		Overhang				Left Fin			Right Fin		
			Hgt	Wd	Len	Hgt	LExt	RExt	Dist	Len	Hgt	Dist	Len	Hgt
1	Bug Screen	0.76												
2	Bug Screen	0.76												
3	Bug Screen	0.76												
4	Bug Screen	0.76												
5	Bug Screen	0.76												
6	Bug Screen	0.76												
7	Bug Screen	0.76												
8	Bug Screen	0.76												
9	Bug Screen	0.76												
10	Bug Screen	0.76												
11	Bug Screen	0.76												
12	Bug Screen	0.76												
13	Bug Screen	0.76												
14	Bug Screen	0.76												
15	Bug Screen	0.76												



**MANDATORY MEASURES SUMMARY: Residential**

(Page 1 of 3)

**MF-1R**

Project Name

Robles Addition

Date

2/4/2014

**NOTE:** Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (\*) below. This Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.

**Building Envelope Measures:**

§116(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.

§116(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).

§117: Exterior doors and windows are weather-stripped; all joints and penetrations are caulked and sealed.

§118(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-6R Form.

§118(i): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(i) when the installation of a Cool Roof is specified on the CF-1R Form.

\*§150(a): Minimum R-19 insulation in wood-frame ceiling or equivalent U-factor.

§150(b): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.

\*§150(c): Minimum R-13 insulation in wood-frame wall or equivalent U-factor.

\*§150(d): Minimum R-13 insulation in raised wood-frame floor or equivalent U-factor.

§150(f): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form.

§150(g): Mandatory Vapor barrier installed in Climate Zones 14 or 16.

§150(l): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permeance rate is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.

**Fireplaces, Decorative Gas Appliances and Gas Log Measures:**

§150(e)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.

§150(e)1B: Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper and or a combustion-air control device.

§150(e)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.

**Space Conditioning, Water Heating and Plumbing System Measures:**

§110-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy Commission.

§113(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.

§115: Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces, household cooking appliances (appliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.

§150(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.

§150(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).

§150(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrapped with insulation having an installed thermal resistance of R-12 or greater.

§150(j)1B: Unfired storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

§150(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes are insulated per Standards Table 150-B.

§150(j)2: Cooling system piping (suction, chilled water, or brine lines), and piping insulated between heating source and indirect hot water tank shall be insulated to Table 150-B and Equation 150-A.

§150(j)2: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards Table 123-A.

§150(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.

§150(j)3A: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in conditioned space.

§150(j)4: Solar water-heating systems and/or collectors are certified by the Solar Rating and Certification Corporation.

**MANDATORY MEASURES SUMMARY: Residential** (Page 2 of 3) **MF-1R**

Project Name: *Robles Addition* Date: *2/4/2014*

- §150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of CMC Sections 601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.
- §150(m)1: Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.
- §150(m)2D: Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
- §150(m)7: Exhaust fan systems have back draft or automatic dampers.
- §150(m)8: Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.
- §150(m)9: Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.
- §150(m)10: Flexible ducts cannot have porous inner cores.
- §150(o): All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-2007 Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of providing the Whole Building Ventilation required in Section 4 of that Standard.

**Pool and Spa Heating Systems and Equipment Measures:**

- §114(a): Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating or a pilot light.
- §114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe between filter and heater, or dedicated suction and return lines, or built-up connections for future solar heating.
- §114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.
- §114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
- §150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, filters, and valve requirements of §150(p).

**Residential Lighting Measures:**

- §150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficacy that is no lower than the efficacies contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.
- §150(k)3: The wattage of permanently installed luminaires shall be determined as specified by §130(d).
- §150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
- §150(k)5: Permanently installed night lights and night lights integral to a permanently installed luminaire or exhaust fan shall contain only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and shall not contain a line-voltage socket or line-voltage lamp holder; OR shall be rated to consume no more than five watts of power as determined by §130(d), and shall not contain a medium screw-base socket.
- §150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150(k).
- §150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.
- §150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy. EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 ft<sup>2</sup> or 100 watts for dwelling units larger than 2,500 ft<sup>2</sup> may be exempt from the 50% high efficacy requirement when: all low efficacy luminaires in the kitchen are controlled by a manual on occupant sensor, dimmer, energy management system (EMCS), or a multi-scene programmable control system; and all permanently installed luminaires in garages, laundry rooms, closets greater than 70 square feet, and utility rooms are high efficacy and controlled by a manual-on occupant sensor.
- §150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.

**MANDATORY MEASURES SUMMARY: Residential**

(Page 3 of 3)

**MF-1R**

Project Name

Robles Addition

Date

2/4/2014

§150(k)10: Permanently installed luminaires in bathrooms, attached and detached garages, laundry rooms, closets and utility rooms shall be high efficacy.

EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by a manual-on occupant sensor certified to comply with the applicable requirements of §119.

EXCEPTION 2: Permanently installed low efficacy luminaires in closets less than 70 square feet are not required to be controlled by a manual-on occupancy sensor.

§150(k)11: Permanently installed luminaires located in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficacy luminaires. EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided they are controlled by either a dimmer switch that complies with the applicable requirements of §119, or by a manual-on occupant sensor that complies with the applicable requirements of §119. EXCEPTION 2: Lighting in detached storage building less than 1000 square feet located on a residential site is not required to comply with §150(k)11.

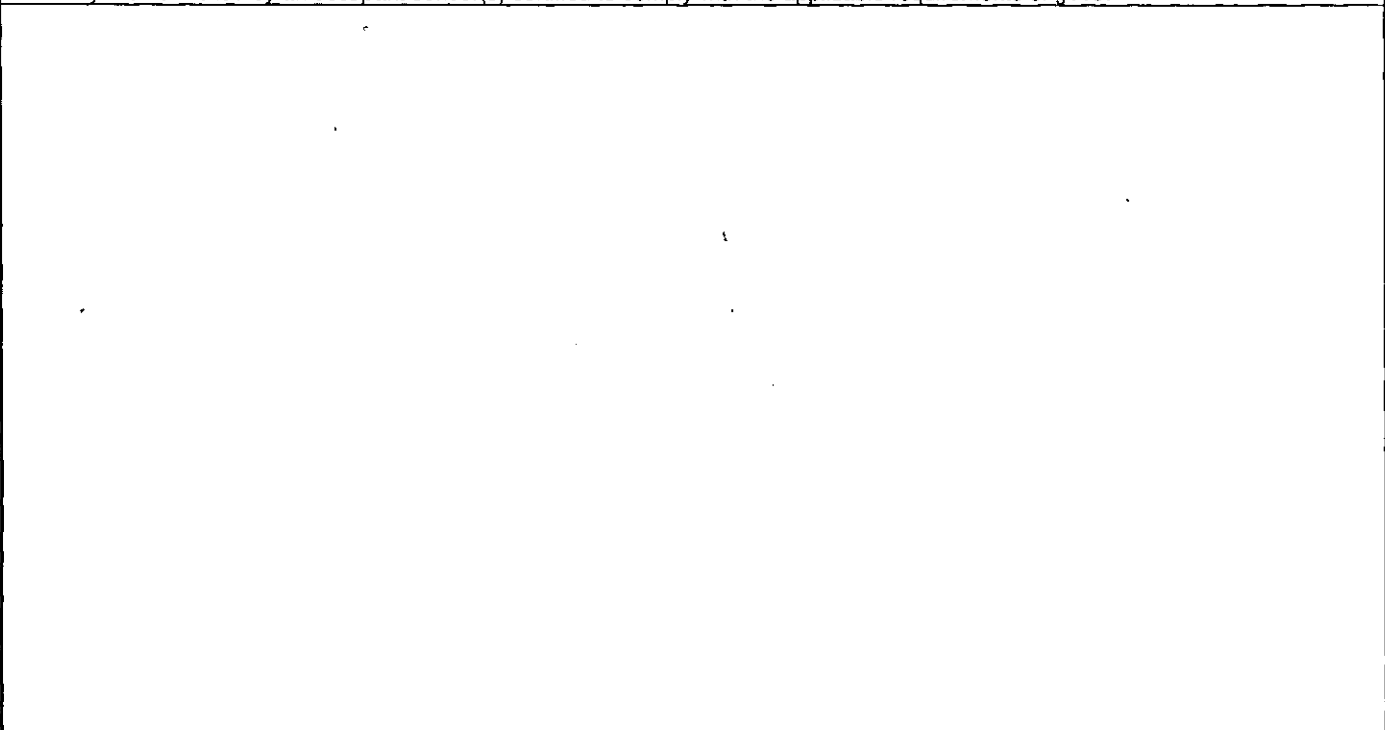
§150(k)12: Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory; and have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; and be sealed with a gasket or caulk between the luminaire housing and ceiling.

§150(k)13: Luminaires providing outdoor lighting, including lighting for private patios in low-rise residential buildings with four or more dwelling units, entrances, balconies, and porches, which are permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy. EXCEPTION 1: Permanently installed outdoor low efficacy luminaires shall be allowed provided that they are controlled by a manual on/off switch, a motion sensor not having an override or bypass switch that disables the motion sensor, and one of the following controls: a photocontrol not having an override or bypass switch that disables the photocontrol; OR an astronomical time clock not having an override or bypass switch that disables the astronomical time clock; OR an energy management control system (EMCS) not having an override or bypass switch that allows the luminaire to be always on. EXCEPTION 2: Outdoor luminaires used to comply with Exception 1 to §150(k)13 may be controlled by a temporary override switch which bypasses the motion sensing function provided that the motion sensor is automatically reactivated within six hours. EXCEPTION 3: Permanently installed luminaires in or around swimming pool, water features, or other location subject to Article 680 of the California Electric Code need not be high efficacy luminaires.

§150(k)14: Internally illuminated address signs shall comply with Section 148; OR not contain a screw-base socket, and consume no more than five watts of power as determined according to §130(d).

§150(k)15: Lighting for parking lots and carports with a total of for 8 or more vehicles per site shall comply with the applicable requirements in Sections 130, 132, 134, and 147. Lighting for parking garages for 8 or more vehicles shall comply with the applicable requirements of Sections 130, 131, 134, and 146.

§150(k)16: Permanently installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires. EXCEPTION: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with the applicable requirements of §119.





*January 27, 2014*

**MKM File # 140021**

**STRUCTURAL CALCULATIONS**

*for*

*Robles Residence Addition*

*2291 West Hearn Avenue*

*Santa Rosa, CA 95407*

**MKM PROJECT MANAGER:**

*Larry Miyano*



**1/27/2014**

CS012714LM.DOC



441 College Avenue  
 Santa Rosa, CA 95401  
 (707) 578-8185 Fax -7153  
 www.mkmassociates.com

**SPECIAL INSPECTION REPORT #1**

Project: Robles Residence Addition  
 MKM File # 140021  
 Location: 2291 West Hearn Avenue Santa Rosa, CA 95407  
 Type of Review: Epoxy special inspection  
 PE/PM: LM/LM

Report Date: 01-30-2014  
 Date of Visit: 01-30-2014  
 Time: 10:00 am  
 Weather: Sunny & clear

Contractor:  
 Status of Construction: Holes drilled in existing foundation  
 Present at Site: Ernie Robles, Larry Miyano

**Distribution**

- Architect/Designer: NO DESIGNER
- Contractor:
- Other: Ernie Robles c/o Joella Gutierrez (joellag07@live.com)

**Reviewer's Signature:**

Larry Miyano



Date: 01-30-2014

Special Inspection per 2013 CBC Sections 1702 and 1704 was performed by MKM & Associates and items reviewed were found to be in conformance with the approved construction documents and revisions as noted below:

1. All holes were drilled to the proper depth and diameter for installation of adhesive connections.
2. Holes were properly cleaned.
3. Adhesive type and expiration date was verified as acceptable.
4. Adhesive was placed into hole and anchor installed per manufacturer's requirements.

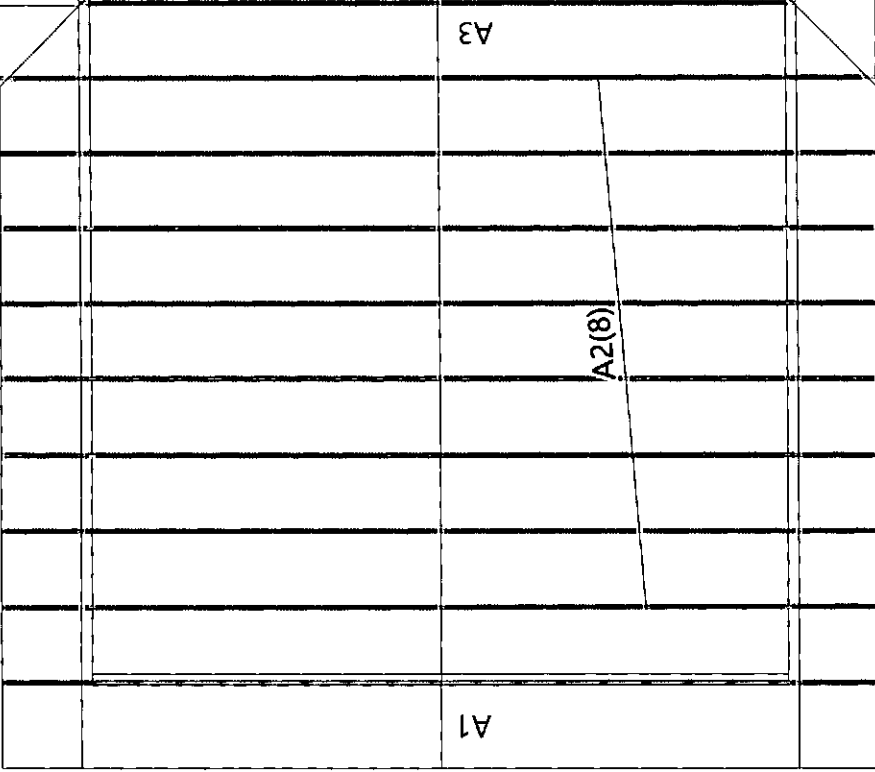
**Special Inspections/Remarks:**

# NO EXCEPTIONS NOTED

Review of these shop drawings does not relieve contractor from compliance with requirements of the drawings and specifications. This review is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. The contractor is responsible for confirming and correlating all quantities and dimensions, selecting fabrication processes and techniques of construction coordinating his work with that of all other trades and performing his work in a safe and satisfactory manner.

## MKM & ASSOCIATES

Date: 2/5/14 By: Larry Miyano



**BUILDING PLAN CHECK**  
★ **APPROVED** ★  
FEB 14 2014  
PERMIT AND RESOURCE  
MANAGEMENT DEPARTMENT

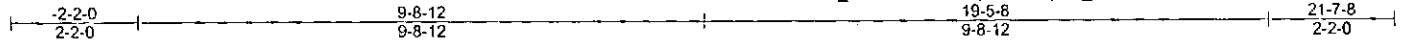
Client: Ernie Robles

# ROOF TRUSS LAYOUT

Scale: NTS

Job	Truss	Truss Type	Qty	Ply	M19764 Robles Addition bjo
1_DESIGNS	A1	GABLE	1	1	Job Reference (optional)

7,500 s Oct 23 2013 MiTek Industries, Inc. Wed Feb 05 11:42:33 2014 Page 1  
 ID:VQbc0sbxvPlrLNU\_7A9T1DzoAIE-JqSQrMnDpVK\_s?m8WA9EGNOgG2mh3Ozo2VRVXmzoANK



Scale = 1:37.8

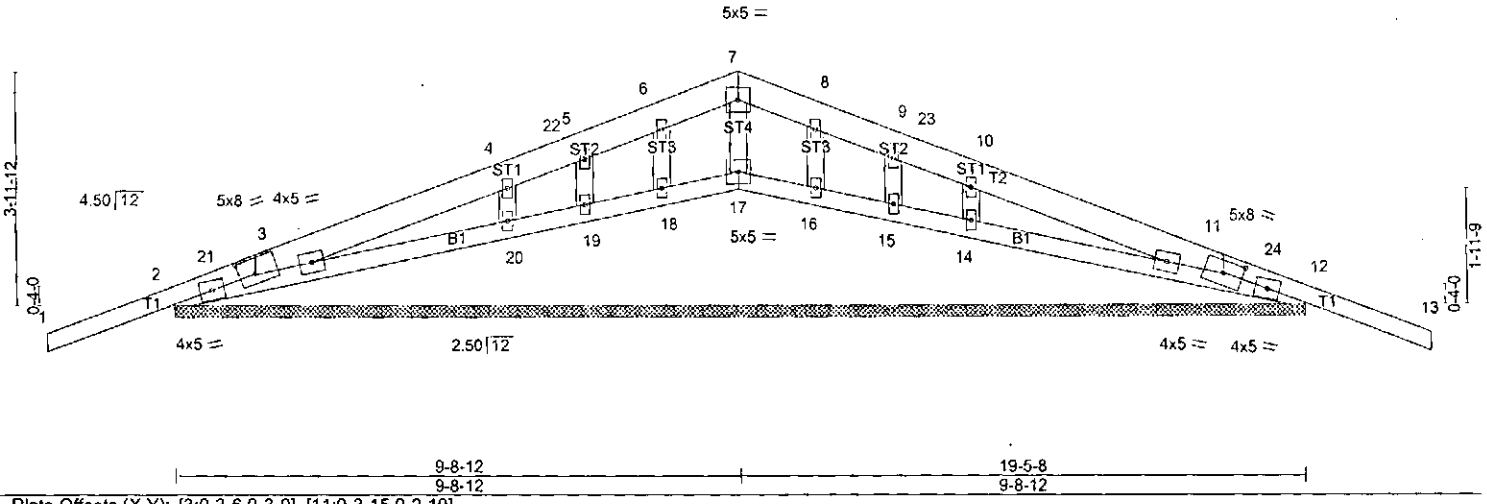


Plate Offsets (X,Y): [3:0-3-6,0-3-0], [11:0-3-15,0-2-10]

<b>LOADING</b> (psf)	<b>SPACING</b> 2-0-0	<b>CSI</b>	<b>DEFL</b> in (loc)	<b>L/defl</b>	<b>L/d</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 20.0	Plates Increase 1.25	TC 0.20	Vert(LL) -0.03	13	n/r	MT20	220/195
TCDL 12.0	Lumber Increase 1.25	BC 0.05	Vert(TL) -0.08	13	n/r		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.04	Horz(TL) 0.00	12	n/a		
BCDL 7.0	Code IBC2012/TPI2007	(Matrix)					
						Weight: 85 lb	FT = 20%

**LUMBER**

TOP CHORD 2x4 DF No.1&Btr G \*Except\*  
 T2: 2x6 DF No.2 G  
 BOT CHORD 2x4 DF No.1&Btr G  
 OTHERS 2x4 DF Stud/Std G

**BRACING**

TOP CHORD  
 Structural wood sheathing directly applied or 6-0-0 oc purlins.  
 BOT CHORD  
 Rigid ceiling directly applied or 10-0-0 oc bracing, Except:  
 6-0-0 oc bracing: 19-20,14-15.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

- 8) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 9) A plate rating reduction of 20% has been applied for the green lumber members.
- 10) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 3, 2, 12, 19, 20, 15, 14.
- 11) Beveled plate or shim required to provide full bearing surface with truss chord at joint(s) 3, 11, 17, 18, 19, 20, 16, 15, 14.
- 12) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 13) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.

**REACTIONS** All bearings 19-5-8.

(lb) - Max Horz  
 2= 34(LC 11)  
 Max Uplift  
 All uplift 100 lb or less at joint(s) 3, 2, 12, 19, 20, 15, 14  
 Max Grav  
 All reactions 250 lb or less at joint(s) 3, 11, 17, 18, 19, 16, 15 except 2=279(LC 1), 12=279(LC 1), 20=311(LC 21), 14=311(LC 22)

**LOAD CASE(S)**  
 Standard

**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

**NOTES**

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-10; Vult=110mph (3-second gust) Vasd=87mph; TCCL=6.0psf; BCDL=4.2psf; h=25ft; B=45ft; L=24ft; eave=4ft; Cat. II; Exp B; enclosed: MWFRS (directional) and C-C Exterior(2) -2-2-0 to 0-10-0, Interior(1) 0-10-0 to 9-8-12, Exterior(2) 9-8-12 to 12-8-12 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 4) All plates are 2x4 MT20 unless otherwise indicated.
- 5) Gable requires continuous bottom chord bearing.
- 6) Gable studs spaced at 1-4-0 oc.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.