

Type



Plans

BLD 15-0904

Permit Number

14100

Street Number

BODEGA HWY

Street Name

TWI

Community Code

026-130-016

APN

# COUNTY OF SONOMA - PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403 (707) 565-1900 FAX (707) 565-1103

Please Print  
Your Name: Michelle Martinea

Date Applied: 2-26-15

## INFORMATION WITHIN HEAVY LINE TO BE COMPLETED BY APPLICANT

### SITE LOCATION INFORMATION - PRINT CLEARLY

Site Address: 14100 Bodega Hwy City: Bodega ZIP: 94922  
Cross-Street: Freestone Valley Ford Road APN: 026-130-016 Project Phone #: ( ) Project Fax #: ( )  
Directions: Email address: Unit # Lot #  
Describe Project: T-Mobile 700 proposing to: swap (2) parcels for (2) new parcels, add (2) B.U.'s and (4) TMA's / (4) duplexes at grand. Living Area Contract Price: 20,000  
Garage Michelle Martinea  
Decks

### OWNER NAME AND ADDRESS

Name: Adeline A Biasi  
Mailing Address: 400 Pleasant Avenue  
City: Santa Rosa State: CA ZIP: 95403  
Day Ph: ( ) Fax: ( )

### APPLICANT NAME AND ADDRESS

Name: T-Mobile is applicant (Cran Castle is agent)  
Mailing Address: 1301 Hacienda Dr, Suite 410  
City: Pleasanton State: CA ZIP: 94568  
Day Ph: 925 568-9840 Fax: ( )

### CONTRACTOR INFORMATION

Company Name: TBD  
Address: TBD  
City: TBD State: ZIP:  
Day Ph: ( ) Fax: ( )

### OTHER PERSONS (ARCHITECT, ENGINEER, ETC.)

Name: Black & Veatch, Architect  
Address: 500 Executive Park, Suite 430  
City: San Ramon State: CA ZIP: 94583  
Day Ph: 925 458-4521 Fax: ( )

### WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:  
☐ I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
☐ I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier Policy No. (This section need not be completed if the permit is for one hundred dollars (\$100) or less).

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Exp. Date: Applicant:

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. B & P.C. for this reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following website: <http://www.loginfo.ca.gov/calaw.html>.

Date Signature of Property Owner or Authorized Agent

### LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Lic. Class Lic. No.

Exp. Date Contractor

### ASBESTOS DECLARATION

Written asbestos notification pursuant to Part 61 of Title 40 of the Code of Federal Regulations is required when asbestos exists in buildings, or portions thereof, undergoing demolition. I hereby declare that demolition authorized by this permit is from construction that ( ) does ( ) does not contain asbestos, or that ( ) no demolition is authorized by this permit.

I certify that I have read this application and affirm under penalty of perjury that the above information is correct. I agree to comply with all local Ordinances and State laws relating to building construction. I hereby authorize representatives of the County of Sonoma to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption for the Worker's Compensation provision of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.

PERMITTEE SIGNATURE

ADDRESS CITY ZIP

☐ Contractor ☐ Owner ☒ Other Licensed Professional Agent

THIS PERMIT SHALL EXPIRE IN THREE(3) YEARS FROM DATE FEES ARE PAID UNLESS OTHERWISE NOTED BY CODE ENFORCEMENT

Distribution: White - File Canary - Applicant Blue - Assessor Cardstock - Inspector

FOR DEPARTMENT USE	
Zoning: LCA B6-16043	File No: VPE13-0024 Acres: 273.73
Existing Use/Structures: SED, existing Bldgs, telecom tower	
Proposed Use/Structures: Replace two antennas (one) telecom	
Zoning Min. Yard Requirements: Front 30' Left 10' Right 10' Back 20'	
NOTE: Fire Safe Standards require all parcels greater than 1 Acre to have a min. 30' setback unless mitigated. <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Address subject to change	
Approval for Permit Issuance:	Approval for Occupancy:
By: Scott J. Humphreys	By: Scott J. Humphreys
Date: 2/26/15	Date: 2/26/15
Conditions: No change in number of antennas on (2) collocated facility	

Sewer Connection: <input type="checkbox"/> Available <input type="checkbox"/> Fees Paid
Approved by: Date:
Road Encroachment: <input type="checkbox"/> Fees Paid
Approved by: Date:
Septic System Permit/Clearance #
Approved by: Date:
Flood Zone: <input type="checkbox"/> Yes <input type="checkbox"/> No 100 Year Flood Elevation:
Site Review
Drainage Review: Approved by: Date:
Fire: Approved by: Date:
Code Enforcement Violation <input type="checkbox"/> Yes <input type="checkbox"/> No Violation #
This permit is limited to days.
Work Authorized: 4 (E) cell towers

<input checked="" type="checkbox"/> Plans Approved	<input type="checkbox"/> Post FIRM	<input type="checkbox"/> Alquist Priolo Report Available
<input checked="" type="checkbox"/> No Plans Subject to Field Inspection	<input type="checkbox"/> Pre FIRM	<input type="checkbox"/> Geotechnical report Available
Planned/Cleared By: [Signature]	Date: 2/26/15	Type of Construction: V
Permit Cleared for Issuance By: [Signature]	Date: 2/26/15	Occupancy: V
	Auto. Fire Sprinklers Req'd	No. of Units
		Certificate of Occupancy
PA/M Machine Space for Permit Fee		
FEB 26 2015		

JOB ADDRESS: 14100 Bodega Hwy - Bodega CA 94922  
PERMIT NUMBER: B6015-0904  
INSPECTION AREA: 8

Date: **November 6, 2014**



Heather Drew  
Crown Castle  
5350 North 48th Street Suite 305  
Chandler, AZ 85226  
(480) 735-6932

520 S. Main Street, Suite 2531  
Akron, OH 44311  
(614) 859-1607  
dpalkovic@gpdgroup.com

**Subject:**

**Structural Analysis Report**

**Carrier Designation:**

**T-Mobile Co-Locate**

**Carrier Site Number:**

BA00436A

**Carrier Site Name:**

SF436 Blasi Property

**Crown Castle Designation:**

**Crown Castle BU Number:**

827753

**Crown Castle Site Name:**

SF436 Blasi Property

**Crown Castle JDE Job Number:**

298845

**Crown Castle Work Order Number:**

934801

**Crown Castle Application Number:**

259947 Rev. 6

**Engineering Firm Designation:**

**GPD Group Project Number:**

2014777.827753.01

**Site Data:**

**14100 BODEGA HWY, Bodega, Sonoma County, CA 94922**

**Latitude 38° 21' 20.12", Longitude -122° 55' 48.68"**

**62.5 Foot – Diamond Services Stealth Monopole Tower**

Dear Heather Drew,

GPD Group is pleased to submit this "**Structural Analysis Report**" to determine the structural integrity of the above mentioned tower. This analysis has been performed in accordance with the Crown Castle Structural 'Statement of Work' and the terms of Crown Castle Purchase Order Number 723109, in accordance with application 259947, revision 6.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

**LC5: Existing + Proposed Equipment**

**Sufficient Capacity**

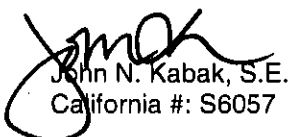
Note: See Table I and Table II for the proposed and existing/reserved loading, respectively.

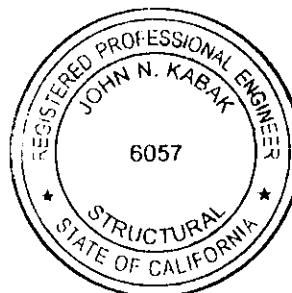
The analysis has been performed in accordance with the 2013 California Building Code based upon an ultimate 3-second gust wind speed of 110 mph converted to a nominal 3-second gust wind speed of 85 mph per Section 1609.3.1 as required for use in the TIA-222-G Standard per Exception #5 of Section 1609.1.1. Exposure Category C and Risk Category II were used in this analysis. Additionally Seismic forces have been evaluated based on Site Class D with spectral response factors of  $S_s$  of 1.500 and  $S_1$  of 0.669.

We at GPD Group appreciate the opportunity of providing our continuing professional services to you and Crown Castle. If you have any questions or need further assistance on this or any other projects please give us a call.

Structural analysis prepared by: Andrew Courtney, EI

Respectfully submitted by:

  
John N. Kabak, S.E.  
California #: S6057



Date: **November 5, 2014**

Heather Drew  
Crown Castle  
5350 North 48th Street Suite 305  
Chandler, AZ 85226  
(480) 735-6932



GPD Group  
520 S. Main Street, Suite 2531  
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**Subject: Structural Analysis Report**

**Carrier Designation:** **T-Mobile Co-Locate**  
**Carrier Site Number:** BA00436A  
**Carrier Site Name:** SF436 Blasi Property

**Crown Castle Designation:** **Crown Castle BU Number:** 827753  
**Crown Castle Site Name:** SF436 Blasi Property  
**Crown Castle JDE Job Number:** 298845  
**Crown Castle Work Order Number:** 934801  
**Crown Castle Application Number:** 259947 Rev. 6

**Engineering Firm Designation:** **GPD Group Project Number:** 2014777.827753.01

**Site Data:** **14100 BODEGA HWY, Bodega, Sonoma County, CA 94922**  
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11/5/14