

B

Type

✓

Plans

BLD13-0678

Permit Number

13750

Street Number

Arnold Dr

Street Name

GLE

Community Code

054-340-013

APN

COUNTY OF SONOMA - PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403 (707) 565-1900 FAX (707) 565-1103

Please Print Your Name: **ENTERRA ASSOC.** Date Applied: **2/6/13**

INFORMATION WITHIN HEAVY LINE TO BE COMPLETED BY APPLICANT

SITE LOCATION INFORMATION - PRINT CLEARLY

Site Address: **13750 ARNOLD DRIVE** City: **GREEN ELEN** ZIP: _____
 Cross-Street: **JACK LORSON DR** Project Phone #: **(707) 933 8514** Project Fax #: _____
 Directions: _____ Email address: _____ Unit #: _____ Lot #: _____
 Describe Project: **Com T.I** Living Area: **M - 1189** Contract Price: **\$20,000**
MINOR REMODEL TASTING RM Garage: _____ Decks: _____

OWNER NAME AND ADDRESS

APPLICANT NAME AND ADDRESS

Name: **FRUIT SURE, LLC** Name: **ENTERRA ASSOC.**
 Mailing Address: **13750 ARNOLD DRIVE** Mailing Address: **1225 4TH ST. #200**
 City: **GREEN ELEN** State: **CA** ZIP: _____ City: **SANTA ROSA** State: **CA** ZIP: **95404**
 Day Ph: **(707) 933 0514** Fax: () Day Ph: **(707) 514 7642** Fax: ()

CONTRACTOR INFORMATION

OTHER PERSONS (ARCHITECT, ENGINEER, ETC.)

Company Name: **NONE ASSIGNED YET** Name: _____
 Address: _____ Address: _____
 City: _____ State: _____ ZIP: _____ City: _____ State: _____ ZIP: _____
 Day Ph: () Fax: () Day Ph: () Fax: ()

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier _____
 Policy No. _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Exp. Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. _____, B & P.C. for this reason _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder. It has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following website: <http://www.leginfo.ca.gov/calaw.html>.

Date: **2/6/13** Signature of Property Owner or Authorized Agent: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Lic. Class _____ Lic. No. _____

Exp. Date _____ Contractor _____

ASBESTOS DECLARATION

Written asbestos notification pursuant to Part 61 of Title 40 of the Code of Federal Regulations is required when asbestos exists in buildings, or portions thereof, undergoing demolition. I hereby declare that demolition authorized by this permit is from construction that does does not contain asbestos, or that no demolition is authorized by this permit.

I certify that I have read this application and affirm under penalty of perjury that the above information is correct. I agree to comply with all local Ordinances and State laws relating to building construction. I hereby authorize representatives of the County of Sonoma to enter upon the above-mentioned property for inspection purposes. After making the Certificate of Exemption for the Worker's Compensation provision of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed void.

PERMITTEE SIGNATURE: **1225 4th St. #200, SR 95404**
 ADDRESS: _____ CITY: _____ ZIP: _____

Contractor Owner Other Licensed Professional

FOR DEPARTMENT USE

Zoning: **LC-HD-SB-SR** File No: **11PE 10-0024** Acres: **0.29**
 Existing Use/Structures: **2 Commercial Buildings including existing room**
 Proposed Use/Structures: **Interior tenant remodel of existing room**

Zoning Min. Yard Requirements: Front **NA** Left **NA** Right **NA** Back **NA**
 NOTE: Fire Safe Standards require all parcels greater than 1 Acre to have a min. 30' setback unless mitigated. Mitigation Required Address subject to change

Approval for Permit Issuance: _____ Approval for Occupancy: _____

By: _____ Date: **2/19/13**

Conditions: **Interior work only with this permit - Landmarks review not required.**

Sewer Connection: Available Fees Paid

Approved by: _____ Date: **3-28-13**

Road Encroachment: Fees Paid

Approved by: _____ Date: **3-28-13**

Septic System Permit/Clearance # _____

Approved by: _____ Date: _____

Flood Zone: Yes No 100 Year Flood Elevation: _____

Site Review _____

Drainage Review: _____ Approved by: _____ Date: **3-28-13**

Fire: **DM MACINTYRE** Approved by: _____ Date: **2/19/13**

Code Enforcement Violation Yes No Violation # _____

This permit is limited to _____ days.

Work Authorized: **remodel tasting room**

<input checked="" type="checkbox"/> Plans Approved	<input type="checkbox"/> Post FIRM	<input type="checkbox"/> Attest Prior Report Available
<input type="checkbox"/> No Plans Subject to Field Inspection	<input type="checkbox"/> Pre FIRM	<input type="checkbox"/> Geotechnical report Available
Permit Cleared By: Carl Smith 3/28/13	Type of Construction: VB	Occupancy: M
Permit Cleared Date: 3/28/13	Auto. Fire Sprinklers Req'd: _____	No. of Units: _____
Permit Cleared By: Sparker	Certificate of Occupancy: _____	No. of Bedrooms: _____

PAYMENT REC'D
 \$ _____
MAR 20 2012
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT
COUNTY OF SONOMA

EXPIRED

JOB ADDRESS: **13750 ARNOLD DR**
 PERMIT NUMBER: **BLD-13-0178**
 INSPECTION AREA: **8**

COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 VENTURA AVENUE, SANTA ROSA, CA 95403-2829
(707) 565-1900 FAX (707) 565-1103

Building Plan Check Invoice : BLD13-0678
This is not a Building Permit**

Project Address: 13750 ARNOLD DR GLE
Cross Street: JACK LONDON DR
Fire District: GLEN ELLEN FPD
APN: 054-340-013

Status: **PREISSUE**
Printed: March 28, 2013
Initialized by: RDELACR1
Activity Type: B-BLD 1201

Description: TASTING RM TENANT IMP- PARTITION WALL & ENTRY

Res/Com: C
Std/Quick: Q
Fire District: GLEN ELLEN FPD
P/C Multiplier: 1

Insp Area: 06
Site Review File #: UNDER HARDSHIP
Site Review Fees Paid: \$0.00; \$227.00; \$0.00

Owner: SHONE DONALD L TR
C/O GLEN ELLEN ASSOCIATES
1495 HILL RD
GLEN ELLEN CA 95442
707-933-0514

PAYMENT REC'D

Applicant: SWINTH RICKARD
1385 TERRACE WAY #418
SANTA ROSA CA 95404
707 396 7642 CELL

MAR 28 2012

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT
COUNTY OF SONOMA

Occupancy	Type	Factor	Sq Feet	Valuation
M Merchantile	Type VB	24.90	1,188	\$29,581.20
	Totals...		1,188	\$29,581.20*

Fees:

Item#	Description	Account Code	Tot Fee	Prev. Pmts	Cur. Pmts
7	CREDIT CARD CONVEN FEE	025015-4020	34.97	.00	.00
51	S.M.I.P. COMMERCIAL	327023-4040	6.21	.00	.00
52	CA BLDG STANDARDS SB1473	327031-4040	2.00	.00	.00
60	BLDG PERM PLAN CHECK FEE	025015-1341	518.04	518.04	.00
94	ACCESS UNDER THRESHOLD	025015-1341	227.00	227.00	.00
119	FIRE COMM'L REVIEW	649129-3661	173.00	173.00	.00
120	FSS INSPECTIONS	649129-3641	346.00	.00	.00
122	ELECTRICAL FEE	025015-1341	74.00	.00	.00
132	BUILDING PERMIT FEE	025015-1341	823.12	.00	.00
140	TECH ENHANCEMENT FEE	025015-4040	48.00	48.00	.00
145	PLAN ADMIN FEE	025700-3162	123.47	.00	.00
735	NPDES - BUILDING	025015-1350	82.31	.00	.00
1165	ZONING PERMITS W/O D.R.	025015-3829	143.00	143.00	.00

\$2,601.12 \$1,109.04

**These fees cover the cost of reviewing your plans prior to permit issuance.
When your plans are approved, and BEFORE a building permit can be issued,
payment of building permit fees is required.

Total Fees: \$2,601.12
Total Paid: \$1,109.04

Balance Due: \$1,492.08

"Refunds of fees paid may be made pursuant to Section 108.6 of Appendix 1 of the California Building Code and adopted model codes, subject to the following. 1) 100% of a fee erroneously paid or collected. 2) 90% of the plan review fee when an application for a permit is withdrawn or canceled or expires or becomes void before any plan review effort has been expended. No portion of the plan review fee shall be refunded when any plan review effort has been expended. 3) 90% of the building, plumbing, electrical, and/or mechanical fee may be refunded when a permit is withdrawn, or cancelled or expires or becomes void before any work was done and before any inspections are performed. No portion of these fees shall be refunded when any work was done and/or any inspections have been performed. 4) Application for refund must be made within one year of the date the fee is paid."

COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT
 2550 VENTURA AVENUE, SANTA ROSA, CA 95403-2829
 (707) 565-1900 FAX (707) 565-1103

Building Plan Check Invoice : BLD13-0678
This is not a Building Permit**

Project Address: 13750 ARNOLD DR GLE
Cross Street: JACK LONDON DR
Fire District: GLEN ELLEN FPD
APN: 054-340-013

Status: **STARTED**
Printed: Tuesday, February 19, 2013
Initialized by: RDELACR1
Activity Type: B-BLD 1201

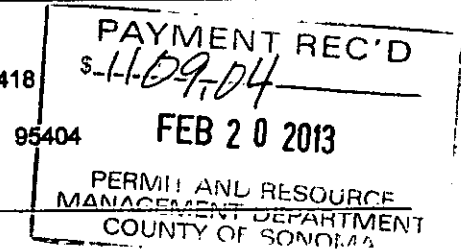
Description: TASTING RM TENANT IMP- PARTITION WALL & ENTRY

Res/Com: C
Std/Quick: Q
Fire District: GLEN ELLEN FPD
P/C Multiplier: 1

Insp Area: 06
Site Review File #: UNDER HARDSHIP
Site Review Fees Paid: \$0.00; \$227.00; \$0.00

Owner: SHONE DONALD L TR
 C/O GLEN ELLEN ASSOCIATES
 1495 HILL RD
 GLEN ELLEN CA 95442
 707-933-0514

Applicant: SWINTH RICKARD
 1585 TERRACE WAY #418
 SANTA ROSA CA
 95404
 707 398 7642 CELL



Valuation:

Occupancy	Type	Factor	Sq Feet	Valuation
M Merchantile	Type VB	24.90	1,188	\$29,581.20
	Totals...		1,188	\$29,581.20*

Fees:

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1165	ZONING PERMITS W/O D.R.	025015-3829	143.00	.00	.00
			\$1,109.04	\$0.00	

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Total Paid: \$0.00
Balance Due: \$1,109.04

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When validated below, this is your receipt.
Plan Check EXPIRES 365 days from date plan check fees are paid.

SITE EVALUATION SHEET

Address 13750 ARNOLD DR

PC# 13-0678

Inspector KEVIN RYBAL

Date 3/5/13

The proposed construction appears to be located in:

Flood Hazard:	<input type="checkbox"/> FIRM Flood Zone (ASFH) BFE = _____ ft. NAVD. Lowest finish floor at 12 above BFE = _____ ft. NAVD. <input type="checkbox"/> Design for moving water is recommended Section _____ is _____ Ft/sec Section _____ is _____ Ft/sec <input type="checkbox"/> Area subject to flooding (not on adopted FIRM). <input type="checkbox"/> Project is on flood zone major damage list. <input type="checkbox"/> Flood Prone Urban Area defined by Ordinance #4906.	<input type="checkbox"/> Portions of property in flood zone but project site not in flood zone. <input type="checkbox"/> Building is in FIRM Floodway. <input type="checkbox"/> Main building on site is Post-FIRM. <input type="checkbox"/> Sensitive drainage area, review by drainage section recommended. <input type="checkbox"/> Appears to be a "substantial improvement" (40%), therefore flood regulations apply. <input type="checkbox"/> Located inside the <i>Laguna de Santa Rosa</i> below elevation of 75 ft (Ordinance #4906).
	Geo-technical: <input type="checkbox"/> Area of suspected slides, slumps, earth flow, or soil creep. (a) <input type="checkbox"/> Area of previous fill placement. (g) <input type="checkbox"/> Area of suspected expansive soil. (c) <input type="checkbox"/> Area without sufficient slope setback as set forth in UBC Section 1806. (b) <input type="checkbox"/> Area subject to possible liquefaction. (e) <input type="checkbox"/> Area of suspected soft, compressible, or organic soil with low bearing capacity. Soils Investigation:	<input type="checkbox"/> Area without recommended setback from stream (Drainage Division recommendations). <input type="checkbox"/> Area of high moisture content in soil. (f) <input type="checkbox"/> Area subject to high erosion (water or wind). <input type="checkbox"/> Area of soft soil due to past deep ripping or cultivation below minimum foundation depth. (h) <input type="checkbox"/> Area within 1000 feet of a solid waste disposal site. <input type="checkbox"/> Non exempt structure per tech bulletin B-28.
Geologic:	<input type="checkbox"/> Located in the Alquist-Priolo Special Studies Zone.	Required <input type="checkbox"/> Included <input type="checkbox"/> Available <input type="checkbox"/> Not Required <input type="checkbox"/> <input type="checkbox"/> Geologic report required (see CGS Publication 42).
Seismic:	Seismic Design Category (SDC) D <input type="checkbox"/> E <input type="checkbox"/>	<input type="checkbox"/> Pictures available in S Drive
General:	<input type="checkbox"/> Building addition will affect the required light and ventilation in an existing room. <input type="checkbox"/> Existing electric meter must be replaced. <input type="checkbox"/> Existing gas meter must be replaced. Slope is _____	<input type="checkbox"/> Indications of existing substandard conditions that are not addressed by the proposed construction. <input type="checkbox"/> Indications of past work done without a permit. <input type="checkbox"/> Grading permit required for road, driveway, or site preparation. <input type="checkbox"/> Site is likely to be acceptable for conventional construction methods.
Wind:	Exposure "B" Exposure "C" Exposure "D"	N.S.C. Air Pollution Control District. <input type="checkbox"/> Yes <input type="checkbox"/> No

- 1) Unattended Vehicle sign. Mailed @ parking. Spent 1129.64.
- 2) Manual. MTRC. Control. to be lowered.
- 3) Re-striping of accessible space, requires maintenance.
- 4) ISA sign @ main entrance.

* Need to change liability form to address the above items.



COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403-2829
(707) 565-1900 FAX (707) 565-2210

March 12, 2013

Rick Swinth
Santa Rosa, Ca.
enterracivil@gmail.com

Re: county #BLD13-0678
13750 Arnold Dr.

Dear Rick,

Plans for the Stockpile Cellars tasting room remodel have been reviewed for building code compliance. The following comments must be addressed before the plans can be approved:

- ✗ The plans appear to be showing an accessible counter that is 48" in length. Please verify that a compliant counter will be provided, ie. min. 60" in length and max. 34" in height. CBC 1122B
- ✗ The area behind the counter is assumed to be an employee workstation. Show 36" clear path of travel through this area. CBC 1123B
- ✗ At the hallway behind the new screen wall, provide 36" clear width. CBC 1018.2, 1118B.1
- 4. Per the site inspector's notes, the following accessibility upgrades are needed:
 - ✗ "unauthorized vehicle" sign.
 - ✗ manual HVAC control needs to be lowered to under 48".
 - ✗ accessible stall needs to be restriped.
 - d. the ISA sign is needed on the entrance door.
- 5. Please submit the pink copy of your approved Department of Health Services application.

Please submit 3 copies of any revisions to the plans, and 2 copies of any other documentation. If you need clarification or direction on any items in this plancheck, feel free to call me at the phone number listed below.

Thank you,

Earl Smith
Building Plans Examiner II

Sonoma County Permit & Resource Management Department
2550 Ventura Avenue
Santa Rosa, Ca. 95403

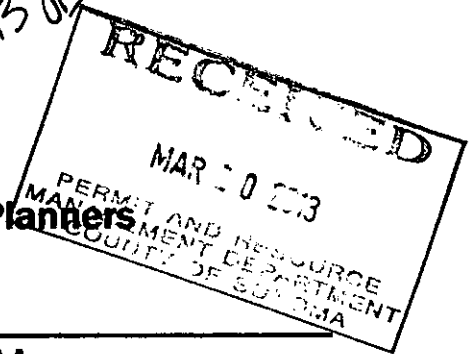
(707) 565-3829 (voice) (707) 565-2210 (fax)
Earl.smith@sonoma-county.org



ENTERRA
Associates, Inc.

Consulting Civil Engineers and Land Planners

3/12/13 JS



LETTER OF TRANSMITTAL

Date: March 12, 2013

To: Earl Smith
County of Sonoma – PRMD
2550 Ventura Avenue
Santa Rosa, CA 95404

Fr: Rick Swinth, PE

Re: 13750 Arnold Drive
BLD13-0678

Please find attached 3 copies of the updated sheets you requested for the Stockpile Cellars tasting room remodel.

- Item #1: 60" long, 34" high accessible counter has been clarified with note.
- Item #2: 36" clear path of travel behind counter has been clarified with note.
- Item #3: 36" clear path of travel behind partition has been clarified with note.
- Item #4: Accessibility upgrades/modifications:
- a. Unauthorized vehicle sign added to plans
 - b. HVAC control has been noted to be lowered to 48" or less.
 - c. Accessible stall shall be restriped.
 - d. ISA sign will be added to front door.
- Item #5: Department of Health Services application copy will be forwarded under separate cover.

SEE ATTACHED



ENTERRA
Associates, Inc.

*Earl
3/25/13*

Consulting Civil Engineers and Land Planners

LETTER OF TRANSMITTAL

Date: March 25, 2013

To: County of Sonoma
Environmental Management

Fr: Rick Swinth, PE

Re: BLD13-0678
Stockpile Cellars – tasting room remodel

Per Building Division, please find enclosed one full set of plans for the proposed Stockpile Cellars tasting room remodel. Note that this is an approved and existing tasting room with a recent Environmental Management department inspection. The remodel involves minor electrical and access changes, including extension of the existing tasting bar with identical materials and design to those approved when permitted as the Audellsa Tasting Room a year or so ago. Thank you.

**COUNTY OF SONOMA DEPARTMENT OF HEALTH SERVICES
RETAIL FOOD FACILITY PERMIT**

Rita Scardaci
Director of Health Services

Post In a Conspicuous Place

Facility : Audelssa Estate Winery
13750 Arnold Dr
Glen Ellen, CA 95442

Food ID : PR0016879

Category/Level : Food - Min Risk

Multiple Units : 0

Renewal Date : 10/31/13

This permit has been issued to the person(s) named below to operate a food facility, after an inspection which demonstrated compliance with California State law. This permit may be suspended or revoked for just cause.

This permit is nontransferable and must be renewed each year prior to the date stated below by payment of an inspection fee approved by resolution of the Board of Supervisors.

Mail To : AUDELSSA ESTATE WINERY
AUDELSSA ESTATE WINERY, LLC
P.O. BOX 1317
GLEN ELLEN, CA 95442


Rita Scardaci, Director of Health Services

**STATE OF CALIFORNIA
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL
ALCOHOLIC BEVERAGE LICENSE**

WINEGROWER

VALID FROM

Jul 01, 2012

RIGHT SIDE LLC
1700 MOON MOUNTAIN RD
SONOMA, CA 95476-3022

EXPIRES

Jun 30, 2013

TYPE NUMBER DUP

02 514725 1

AREA CODE

4900 27

BUSINESS ADDRESS
(IF DIFFERENT)

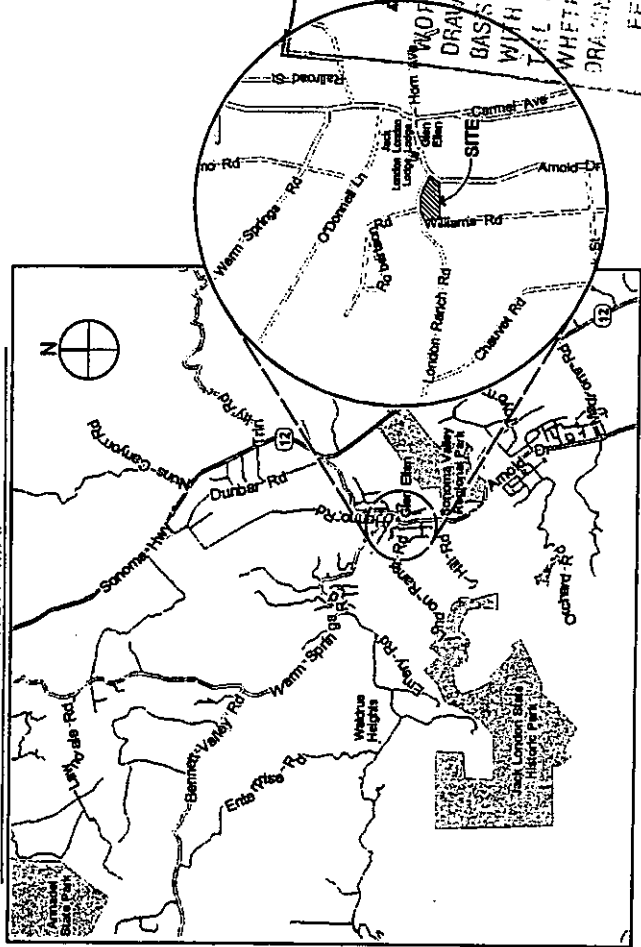
13750 ARNOLD DR
GLEN ELLEN, CA 95442

RENEWAL

CONDITIONS

OWNERS: RIGHT SIDE LLC

LOCATION MAP



PROJECT INFORMATION

BUILDING PERMIT APPLICATION: BLD10-2344
 MINOR USE PERMIT: UPE10-0024
 PROJECT: AUDESSA WINERY TASTING ROOM
 ADDRESS: 13750 ARNOLD DRIVE, GLEN ELLEN, CA
 A.P.N.: 054-340-013
 ZONING: LC, HD SD SR
 LAND USE: SALES OFFICES AND WINE TASTING ROOM
 PROJECT USE: M
 OCCUPANCY: V-B NON-SPRINKLERED
 CONSTRUCTION TYPE: M
 AREA SUMMARIES:
 PARCEL AREA: 0.28 ACRE
 MAIN BUILDING FOOTPRINT AREA (EXISTING): 4760 SQ. FT.
 PROJECT AREA (EXISTING OFFICE TENANT SPACE): 1976 SQ. FT.
 ACCESSIBLE PARKING:
 STANDARD PARKING, EXISTING (8'x20'): 32 SPACES
 STANDARD PARKING, EXISTING (8'x24'): 13 SPACES
 STANDARD PARKING, EXISTING (8'x16'): 2 SPACES
 TOTAL: 47 SPACES

APPROVED
 -AS NOTED-

PERMIT NO. [BLD10-2344]

APPROVED BY [Signature]

DATE: 30 JUL 2010

PROJECT #00401



David English
 Architect



PO Box 1724
 Redwood Park, CA 94027
 Tel: 707.285.2508
 Fax: 707.792.2799
 Email: denglish@mac.com

AUDESSA WINERY TASTING ROOM
 Improvement of Existing Office

SCALE: NOTED

COVER SHEET

ZONING APPROVED
 WORK INDICATED ON DRAWINGS IS APPROVED ON BASIS THAT ALL WORK WILL COMPLY WITH ALL REQUIREMENTS OF THE COUNTY OF SONOMA. WHETHER SHOWN ON PERMITS OR NOT. [Signature]
 T.I. for [Signature]
 PERMIT AND RESOURCE SHEET INDEX
 MANAGER DEPARTMENT

GENERAL NOTES

- ALL CARPENTRY SHALL CONFORM TO THE CONVENTIONAL CONSTRUCTION PROVISIONS OF THE 2007 CBC SECTION 2308 UNLESS DETAILED OTHERWISE.
- FRAME ALL STUD WALLS FULL HEIGHT, CONTINUOUS TO BOTTOM OF FLOOR JOISTS, CEILING JOISTS OR BEAMS.
- DO NOT NOTCH BEAMS, JOISTS AND STUDS UNLESS OTHERWISE NOTED OR APPROVED BY ARCHITECT.
- UNLESS OTHERWISE NOTED, ALL FRAMING LUMBER SHALL BE DOUGLAS FIR AND MEET OR EXCEED THE FOLLOWING COMMERCIAL GRADES:
 STUDS LESS THAN 10" PLATES AND BLOCKING: STD OR BETTER
 JOISTS, RAFTERS, LEDGERS, 4" BEAMS AND POSTS, STUDS GREATER THAN 10": NO. 2
- WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR CONFORMING TO IMPROVED SOFTWOOD STANDARD. WOOD POSTS EMBEDDED IN CONCRETE OR EARTH SHALL BE PRESSURE TREATED TO AWPB LP-22 GROUND CONTACT STANDARD.
- NAILING NOT SPECIFICALLY CALLED OUT ON PLANS SHALL BE COMMON, SHANKER OR BOX PER TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE.
- POWDER-DRIVEN FASTENERS: "RAMSET" SYSTEM OR AN APPROVED EQUAL AT 24" o.c. UNLESS OTHERWISE NOTED. MAXIMUM 8" FROM EACH END OF WALL PLATE, MINIMUM OF TWO PER WALL PLATE TO SLAB.
- POWDER-DRIVEN FASTENERS: "RAMSET" SYSTEM OR AN APPROVED EQUAL AT 24" o.c. UNLESS OTHERWISE NOTED. MAXIMUM 8" FROM EACH END OF WALL PLATE, MINIMUM OF TWO PER WALL PLATE TO SLAB.
- PROVIDE ALL BLOCKING AND BACKING REQUIRED FOR EQUIPMENT.

BUILDING DEPT. NOTES

10. ACCESSORIES, CABINETS, LIGHTING, ETC.
11. WATER HEATER AND FAUCET SHALL BE C.E.C. CERTIFIED.
12. INSULATION SHALL BE CERTIFIED BY THE MANUFACTURER TO MEET THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL: HOT WATER PIPING: PER C.E.C. STANDARDS SECTION 123
13. FLAME SPREAD RATING FOR FIBERGLASS BATTIS SHALL NOT EXCEED 25, FLAME SPREAD RATING FOR FOAM PLASTIC INSULATION SHALL NOT EXCEED 75. SMOKE DENSITY RATING SHALL NOT EXCEED 450. (CBC 718.2 AND 2803.3)
14. THE FIRST 5 FEET OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK, NON-RECIRCULATING SYSTEMS, THE ENTIRE LENGTH OF HOT WATER PIPES 3/4" AND GREATER LEADING TO THE KITCHEN AND THE ENTIRE LENGTH OF RECIRCULATING SECTIONS OF HOT WATER PIPES SHALL BE INSULATED TO C.E.C. TABLE 150B
15. WALLBOARD:
 - 1/2" MIN. GYP. BD. OVER FRAMING AT 16" O.C.
 - 5/8" GYP. BD. OVER FRAMING AT 24" O.C.
 - 1/2" CERAMITIOUS TILE BACKER UNITS AT CERAMIC WALL TILES.
 - INSTALL CORNER BEADS AT ALL OUTSIDE CORNERS.

BUILDING DEPT. NOTES

1. THIS PROJECT IS AN INTERIOR ALTERATION OF AN EXISTING TENANT IMPROVEMENT WITHIN AN EXISTING NON-SPRINKLERED, UNCONDITIONED RETAIL/ OFFICE BUILDING. WORK CONSISTS OF MODIFICATIONS TO EXISTING PLUMBING, HVAC REGISTERS, LIGHTING AND ELECTRICAL OUTLETS, MODIFICATIONS TO INTERIOR PARTITIONS, FINISHES AND DOORS, NEW CABINETS AND FLOORING.
2. ALTERATIONS TO THE EXISTING HVAC SYSTEMS AND LIGHTING DO NOT REQUIRE ENERGY COMPLIANCE DOCUMENTATION:
 • THERE ARE NO CHANGES TO THE EXISTING ENVELOPE.
 • THE EXISTING HVAC UNITS WILL REMAIN INTACT.
 • MORE THAN 50% OF THE EXISTING LIGHT FIXTURES WILL REMAIN UNALTERED.
 • THE EXISTING CONNECTED LIGHTING LOAD OF THE FIXTURES NOT EXCEED THE TOTAL CONNECTED LIGHTING LOAD OF THE FIXTURES THEY ARE REPLACING.
3. THIS FACILITY IS FOR THE POURING OF WINE FOR TASTING ONLY, AND FOR THE RETAIL SALE OF BOTTLES AND CASES OF WINE. THERE IS NO ON-SITE FOOD PREP. OCCASIONAL FOOD SERVICE WILL BE PROVIDED BY PERMITTED CATERERS.

REMAIN FILE
 A1



David English
Architect



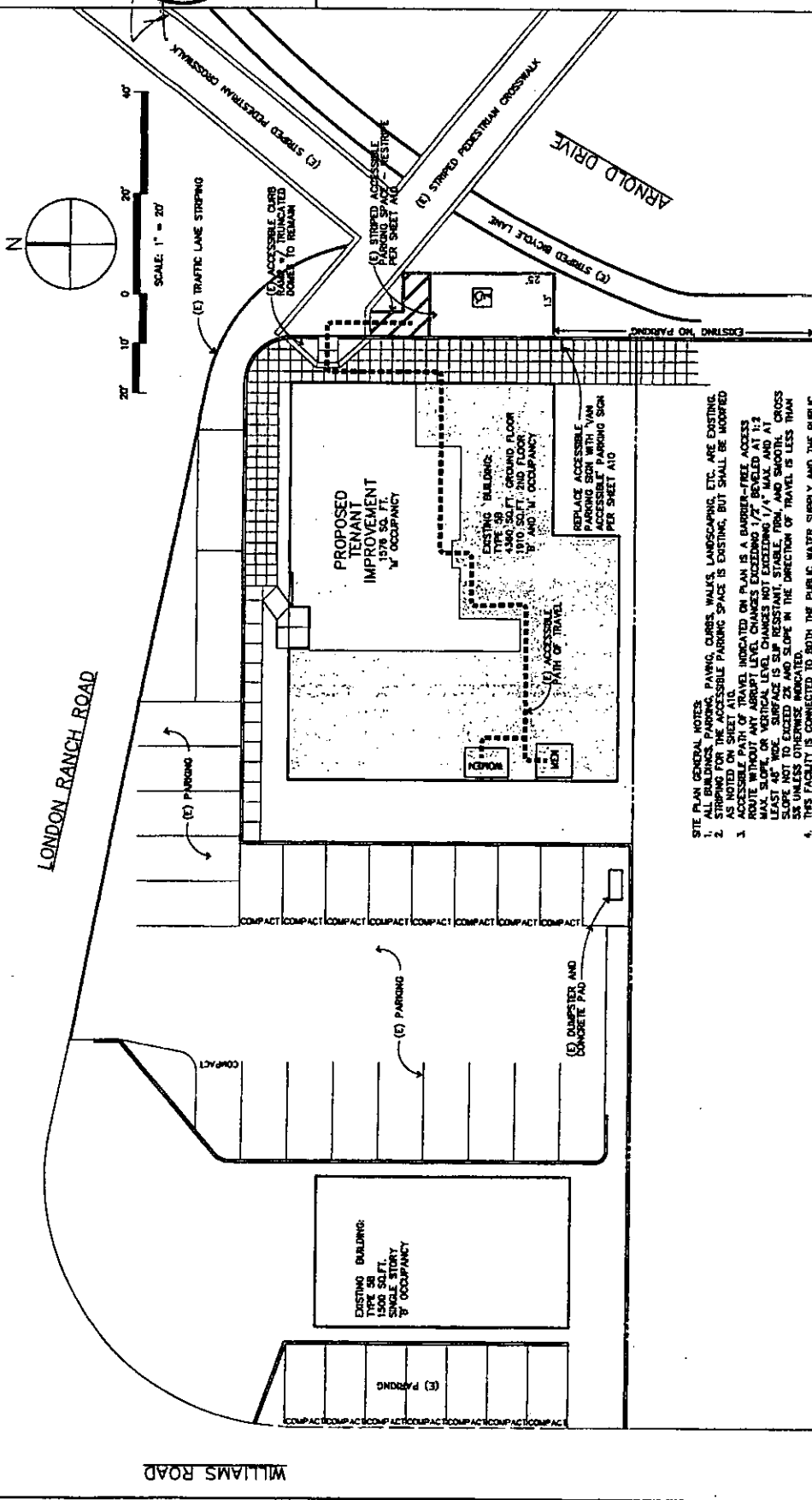
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AUDESSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices

SITE PLAN
SCALE: 1" = 20'

DATE: 30JUL2010
PROJECT #00401

A2



BUILDING PLAN CHECK

★ APPROVED ★

JUL 30 2010

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT

- SITE PLAN GENERAL NOTES:
1. ALL BUILDINGS, PARKING, CURBS, WALKS, LANDSCAPING, ETC. ARE EXISTING.
 2. STRIPING FOR THE ACCESSIBLE PARKING SPACE IS EXISTING, BUT SHALL BE MODIFIED TO MEET THE ABOVE NOTED REQUIREMENTS.
 3. ACCESSIBLE PATH OF TRAVEL INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/4" BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE NOT TO EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE NOTED.
 4. THIS FACILITY IS CONNECTED TO BOTH THE PUBLIC WATER SUPPLY AND THE PUBLIC SANITARY SEWER SYSTEM.



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ADDELSSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices
EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DATE: 30 JUL 2010
PROJECT #00401

A3

EXISTING/DEMOLITION PLAN KEY NOTES
THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY:

- 1 (E) 36" LONG ALUM. DOORWAY THRESHOLD TO REMAIN, 1/4" HEIGHT DIFFERENTIAL FROM ADJACENT FINISHED FLOOR, ACCESSIBLE LEVER HARDWARE, TYP.
- 2 (E) CABINETS TO REMAIN
- 3 (E) CABINETS TO BE REMOVED
- 4 (E) NON-STRUCTURAL PARTITIONS TO BE REMOVED.
- 5 (E) SINK TO BE RELOCATED
- 6 (E) MOP SINK TO REMAIN
- 7 (E) 150A. ELECTRICAL SUB-PANEL
- 8 (E) 5J ANSUL JA: 40B-C FIRE EXTINGUISHER/SEMI-RECESSED CABINET
- 9 (E) STRUCTURAL WOOD COLUMNS TO REMAIN
- 10 (E) NON-STRUCTURAL WOOD COLUMN TO REMAIN
- 11 (E) 32"W. DOOR TO REMAIN
- 12 (E) 34"W. DOOR TO REMAIN
- 13 REMOVE (E) DROPPED SOFFIT. RELOCATE (E) HVAC DUCTING UP TO FIT BETWEEN (E) FLOOR JOISTS.
- 14 RELOCATE (E) ENTRY DOOR, FRAME, HARDWARE, AND THRESHOLD. VERIFY THAT GLAZING IN FRENCH DOOR IS TEMPERED GLASS.
- 15 (E) 36" W. ENTRANCE DOOR TO REMAIN. EXISTING EXTERIOR SIDE CLEARANCE FROM THE STRIKE JAMB OF THE DOOR TO THE ADJACENT WALL JAMB IS 20". MODIFY DOOR AND JAMB AS REQUIRED TO PROVIDE IN-SWING OPERATION AS SHOWN ON FLOOR PLANS.
- 16 REMOVE (E) DOOR. CASED OPENING TO REMAIN (32" MIN. CLEAR WIDTH)

EXISTING/DEMOLITION PLAN GENERAL NOTES

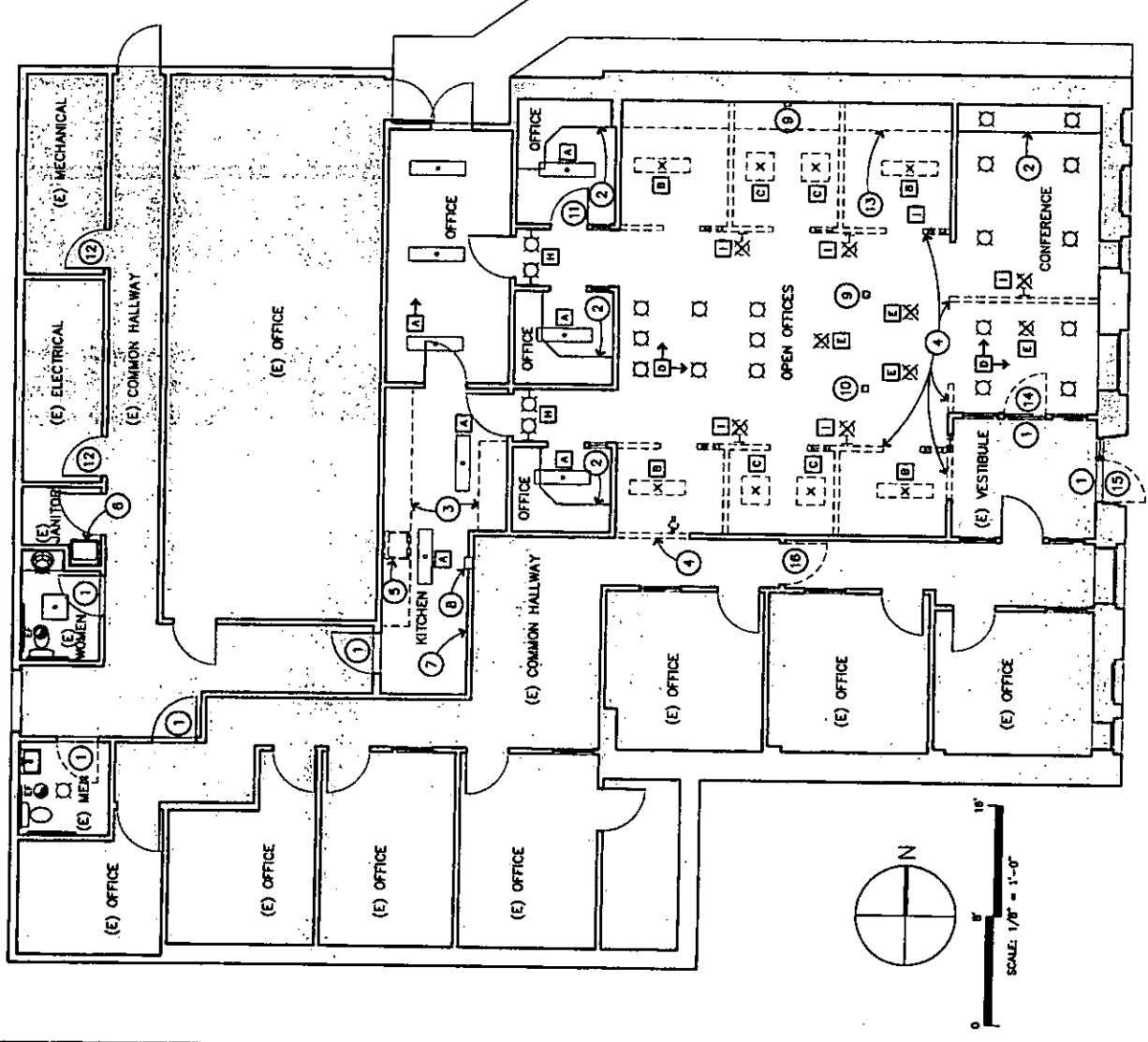
- 1. ALL WALLS, DOORS, GLAZING, PLUMBING FIXTURES, ETC. SHOWN ON THIS SHEET DEPICT EXISTING CONDITIONS.
- 2. ALL DOORS ARE 36" WIDE, U.O.N.
- 3. THE SHADED AREAS INDICATE THOSE AREAS NOT A PART OF THE WORK OF THIS PERMIT APPLICATION.
- 4. [A][B][C] LIGHT FIXTURE TYPE 'A', 'B', 'C', ETC - SEE SHEET AS 'LIGHT FIXTURE SCHEDULE'

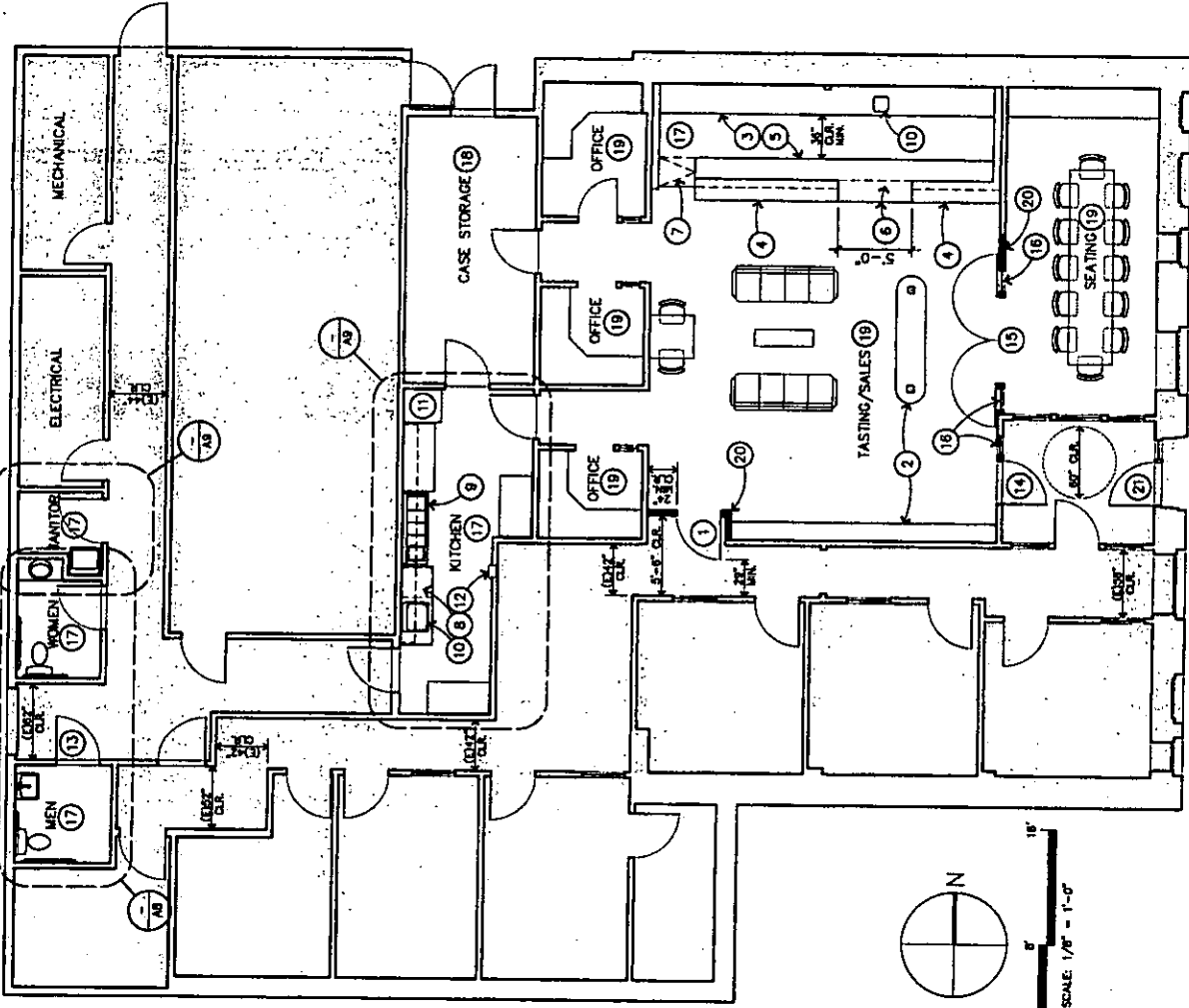
BUILDING PLAN CHECK

★ APPROVED ★

JUL 30 2010

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT





FLOOR PLAN KEY NOTES
 THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY.

- 1 (N) 36"W, 6-PANEL DOOR TO MATCH OTHER DOORS ON THE HALLWAY. CLOSER, LEVER HARDWARE, CLASSROOM LOCKING MECHANISM.
- 2 DISPLAY COUNTERS AT +42"
- 3 BACK COUNTER AT +34" w/ CART STORAGE AND BASE CABINETS BELOW WALL DISPLAY CABINETS ABOVE
- 4 POURING COUNTER AT +42"
- 5 SERVICE COUNTER AT +34"
- 6 MIN. 80"W. x 17"D. x 27"H. ACCESSIBLE KNEE SPACE UNDER COUNTER TOP
- 7 HINGED DROP-DOWN SERVICE GATE, 32" MIN. CLEAR OPENING WIDTH
- 8 HOBART STAINLESS STEEL UNDER-COUNTER GLASSWARE WASHER/SANITIZER, INDIRECT DRAIN TO FLOOR SINK
- 9 NSF-LISTED 3-COMPARTMENT SINK WITH 2 DRAINBOARDS, 10"x14"x10"D. COMPARTMENTS MIN., INDIRECT DRAIN TO FLOOR SINK.
- 10 STAINLESS STEEL HANDWASH SINK, HOT AND COLD WATER SUPPLY, SINGLE LEVER MIXING VALVE, DIRECT SANITARY SEWER CONNECTION IN WALL, SOAP DISPENSER, AND PAPER TOWEL DISPENSER.
- 11 STAINLESS STEEL REFRIGERATION UNIT, TRUE MANUFACTURING, MODEL T-23, 1/3 HP, 7.8 FLA, 115V.
- 12 (E) FIRE EXTINGUISHER CABINET: 5# 3A:40BC EXTINGUISHER
- 13 REVERSE (E) DOOR AND FRAME AT MEN'S ROOM TO PROVIDE OUTSWING AS SHOWN. RE-USE EXISTING HARDWARE, THRESHOLD, AND SIGNAGE.
- 14 RELOCATED (E) ENTRY DOOR
- 15 (N) PAIR OF 36"W. FRENCH DOORS, TEMPERED GLASS, LEVER HANDLES.
- 16 TEMPERED GLASS SIDE LITES
- 17 INSTALL (N) COMMERCIAL GRADE SHEET VINYL FLOORING w/ 4" INTEGRAL COVERED BASE AND CHEMICALLY WELDED SEAMS. WALL FINISHES IN THESE AREAS SHALL BE SEMI-GLOSS ENAMEL PAINT o/ SMOOTH FINISHED GYP. WALLBD.
- 18 INSTALL (N) VCT FLOORING w/ 4" TOPSET RUBBER BASE OR SHEET VINYL FLOORING AS IN THE KITCHEN
- 19 INSTALL (N) TROWELLED AND STAMPED ACRYLIC CEMENT FLOORING, LIMESTONE APPEARANCE WITH A MAXIMUM 1/4" VERTICAL DISCONTINUITY AT ANY POINT OF THE FINISHED HORIZONTAL SURFACE.
- 20 (N) PARTITIONS (DARK BLACK) 2x4's @ 16" o.c., P.T.D.F. SILL PLATES w/ P.D. PIN EA. END TO (E) CONC. SLAB. FASTEN TOP PLATE TO (E) FRAMING ABOVE w/ (3) 8d COMMON TOENAILS 24" o.c.
- 21 MODIFY (E) DOOR AND FRAME TO PROVIDE INSWING AS SHOWN. RE-USE EXISTING HARDWARE AND THRESHOLD. (A.L.T. PROVIDE POWER-ASSISTED DOOR OPERATOR FOR OUTSWING OPERATION.) DOOR GLAZING AND SIDE LITE GLAZING SHALL BE TEMPERED GLASS, VERIFY.

FLOOR PLAN GENERAL NOTES

1. ALL WALLS, DOORS, AND GLAZING SHOWN ON THIS SHEET DEPICT EXISTING CONDITIONS EXCEPT AS OTHERWISE NOTED.
2. INDIRECT DRAIN SHALL TERMINATE WITH A 1" AIR GAP ABOVE THE TOP RIM OF THE FLOOR SINK.
3. WORK OF THIS PERMIT APPLICATION.

dle
 David English
 BUILDING PLAN CHECK ARCHITECT

APPROVED
 JUL 30 2010

PERMIT AND RESOURCE
 MANAGEMENT DEPARTMENT
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 1707 792 2709
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AUDESSA WINERY TENANT IMPROVEMENT
 Alteration of Existing Offices

FLOOR PLAN # 1-10
 SCALE: 1/8" = 1'-0"

DATE: 30JUL2010
 PROJECT #00401
A4



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AUDESSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices
SCALE: 1/8" = 1'-0"
REFLECTED CEILING/LIGHTING PLAN

DATE: 30JUL2010
PROJECT #00407
A5

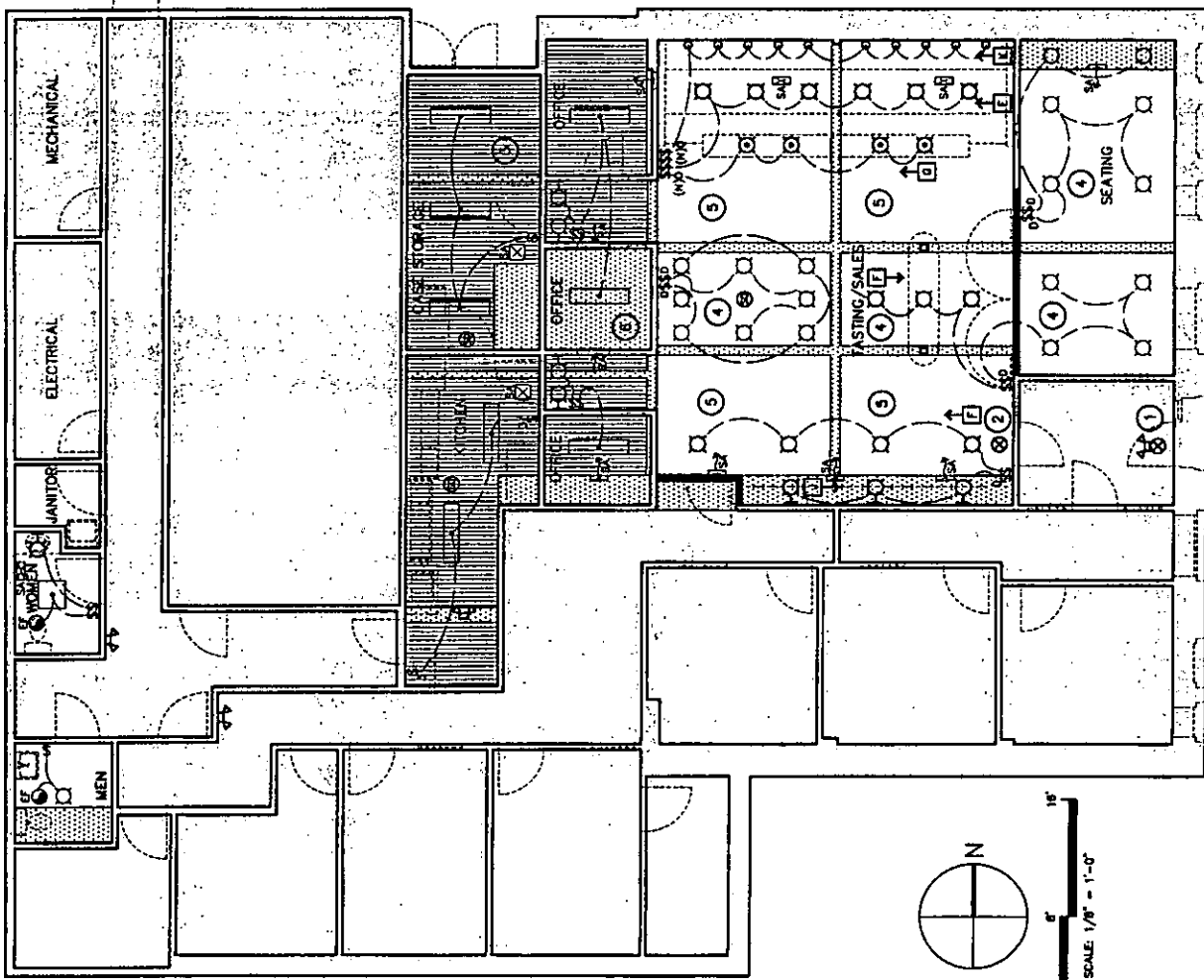
REFLECTED CEILING/LIGHTING PLAN KEY NOTES

THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY.

- ① EXISTING COMBINATION DUAL-POWERED ILLUMINATED EXIT SIGN AND EMERGENCY LIGHT PACK.
- ② ⊗ INSTALL NEW DUAL-POWERED ILLUMINATED EXIT SIGN.
- ③ 'STRIPED' HATCHING INDICATES EXISTING 1x4 WOOD V-GROOVE LAP SIDING WITH A WHITE SEMI-GLOSS ENAMEL PAINT FINISH, +9'-0"±
- ④ (E) CEILING FINISH TO REMAIN; SMOOTH FINISH GYP. WALLBD., SEMI-GLOSS ENAMEL WHITE PAINT, +9'-0"±
- ⑤ (N) CEILING FINISH: SMOOTH FINISH GYP. WALLBD., SEMI-GLOSS ENAMEL WHITE PAINT. INSTALL GYP. WALLBD. OVER (E) 1x4 WOOD V-GROOVE LAP SIDING, +9'-0"±
- ⑥ THERE ARE NUMEROUS EXISTING DROPPED STRUCTURAL BEAMS, FALSE BEAMS, AND SOFFITS CONCEALING HVAC DUCTWORK. THE FINISHED HEIGHTS ABOVE THE FINISHED FLOOR ARE VARIOUS, THE MINIMUM BEING +8'-10" A.F.F. ALL THESE DROPPED SURFACES ARE SMOOTH-FINISHED GYP. WALLBD. AND WHITE SEMI-GLOSS ENAMEL PAINT - THEY ARE DOTTED IN THIS PLAN FOR CLARITY.

REFLECTED CEILING/LIGHTING PLAN GENERAL NOTES

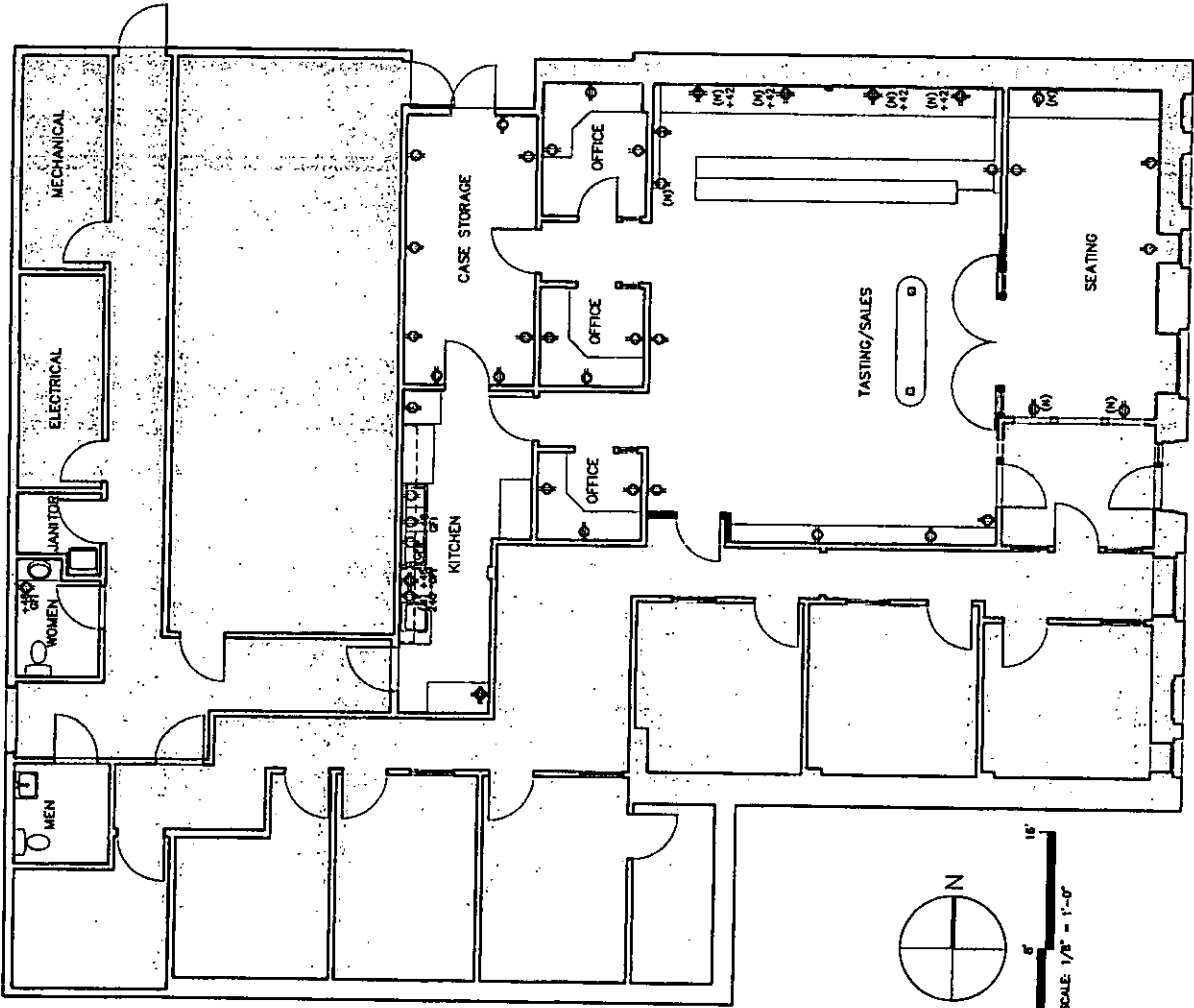
- 1. THE LIGHTLY SHADED AREAS INDICATE THOSE AREAS NOT A PART OF THE WORK OF THIS PERMIT APPLICATION.
- 2. ALL HVAC SUPPLY AIR AND RETURN AIR DUCTING AND REGISTERS ARE EXISTING. 'SA' = SUPPLY AIR, 'RA' = RETURN AIR, 'EF' = EXHAUST FAN.
- 3. ALL LIGHT SWITCHES ARE EXISTING EXCEPT THOSE MARKED '(N)'. REPLACE (N) SWITCHES WITH NEW DIMMER SWITCHES WHERE INDICATED 'W/A 'D'.
- 4. ALL BATTERY-POWERED EMERGENCY LIGHT PACKS SHOWN ARE EXISTING. FLUORESCENT LIGHTING: LAMPS SHALL BE 3500K COLOR. BALLASTS SHALL BE HIGH-FREQUENCY ELECTRONIC BALLASTS, AND SHALL BE CERTIFIED TO COMPLY WITH C.E.C. APPLIANCE STANDARDS.
- 5. ⊕ DENOTES EXISTING LINE-POWERED SMOKE DETECTOR, TYP. OF 3.



LIGHT FIXTURESCHEDULE
(REFER TO SHEET AS FOR OTHER SCHEDULES)

*** APPROVED ***
JUL 30 2010

MARK	DESCRIPTION	PERMIT AND RESOURCE MANAGEMENT DEPARTMENT LAMPS	COUNT	EXISTING CONNECTED LOAD (WATTS)	PROPOSED CONNECTED LOAD (WATTS)
⊗	EXISTING 1'x4' FLUORESCENT TO REMAIN SURFACE MOUNT, CLEAR ACRYLIC DEFUSER	(2) 40W T12	8	688	688
⊗	EXISTING 1'x4' FLUORESCENT TO BE REMOVED. SURFACE MOUNT, CLEAR ACRYLIC DEFUSER	(2) 40W T12	4	344	0
⊗	EXISTING 2'x2' FLUORESCENT TO BE REMOVED. SURFACE MOUNT, CLEAR ACRYLIC DEFUSER	(4) 20W T12	4	344	0
⊗	EXISTING INCANDESCENT FIXTURE TO REMAIN. RECESSED DOWNLIGHT	75W PAR30FL	18	1350	1350
⊗	EXISTING INCANDESCENT FIXTURE TO BE REMOVED. RECESSED DOWNLIGHT OR DECORATIVE PENDANT	75W PAR30FL	3	225	0
⊗	NEW COMPACT FLUORESCENT FIXTURE. RECESSED DOWNLIGHT	(1) 26W DIT	13	0	384
⊗	NEW INCANDESCENT FIXTURE. PENDANT LIGHTS, HALOGEN	(1) 50W GU10	4	0	200
⊗	EXISTING WALL SCENE TO REMAIN. COMPACT FLUORESCENT	(1) 13W DT	4	64	64
⊗	EXISTING WALL SCENE TO BE REMOVED. COMPACT FLUORESCENT	(1) 13W DT	5	80	0
⊗	NEW WALL SCENE. INCANDESCENT	(1) 50W GU10	3	0	150
⊗	NEW UNDER CABINET LIGHTS. LOW VOLTAGE, DIMMABLE	(1) 10W XENON	10	0	100
TOTAL CONNECTED LIGHTING LOAD				3095	2916



ELECTRICAL POWER PLAN KEY NOTES
 THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY.

① (NOT USED)

BUILDING PLAN CHECK
★ APPROVED ★
 JUL 30 2010
 PERMIT AND RESOURCE
 MANAGEMENT DEPARTMENT

ELECTRICAL POWER PLAN GENERAL NOTES

1. INSTALL COVER PLATES OVER ALL ABANDONED ELECTRICAL BOXES.
2. ALL POWER OUTLETS ARE EXISTING EXCEPT THOSE NOTED AS '(N)'. THE CENTER OF 10, 20 AND 30 AMP RECEPTACLE OUTLETS SHALL BE INSTALLED MINIMUM 15" ABOVE THE FLOOR.
3. ELECTRICAL SWITCHES AND CONTROLS WHICH ARE PROVIDED FOR USE OF ROOM OCCUPANTS SHALL BE MOUNTED 48" ABOVE THE FLOOR.

AUDESSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices
ELECTRICAL POWER PLAN
 SCALE: 1/8" = 1'-0"

DATE: 30JUL2010
 PROJECT #00401

A6

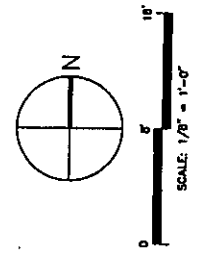
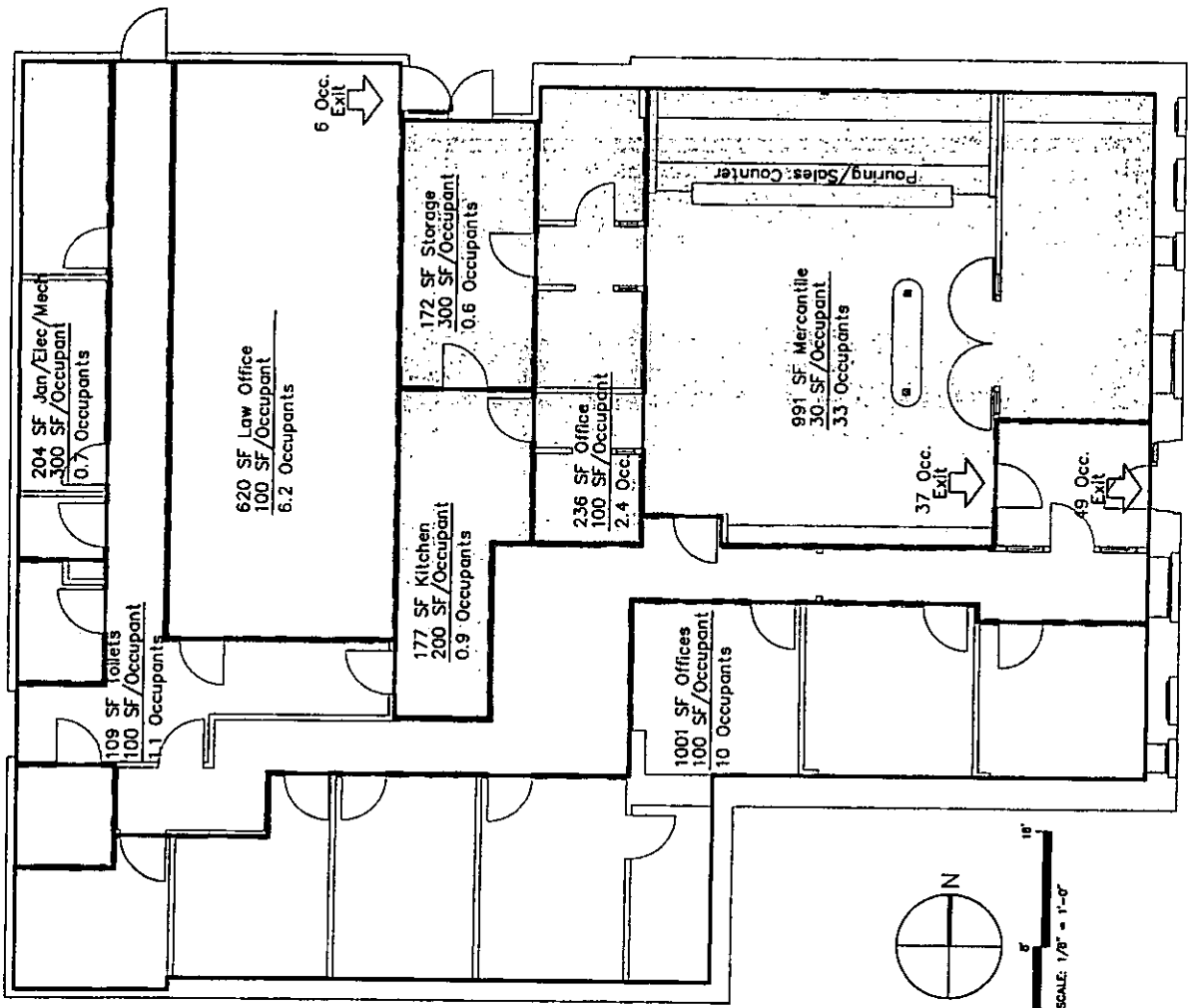


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OCCUPANT LOAD/EXITING GENERAL NOTES
 1. SINCE THE MAXIMUM OCCUPANT LOAD AT ANY POINT IS 49, EXIT DOORS ARE NOT REQUIRED TO SWING IN THE DIRECTION OF TRAVEL, AND PANIC HARDWARE IS NOT REQUIRED.



BUILDING PLAN CHECK
 ★ **APPROVED** ★
 JUL 30 2010
 PERMIT AND RESOURCE
 MANAGEMENT DEPARTMENT

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AUDESSA WINERY TENANT IMPROVEMENT
 Alteration of Existing Offices
 OCCUPANT LOAD/EXITING ANALYSIS
 SCALE: 1/8" = 1'-0"

DATE: 30.JUL.2010
 PROJECT #00401
A7



David English
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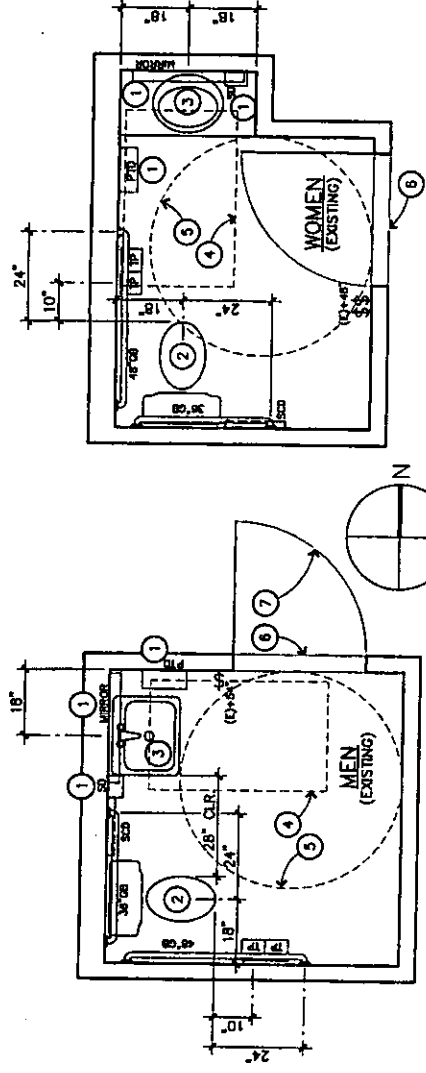
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ADUESSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices
SCALE: 3/8" = 1'-0"
TOILET ROOM DETAIL PLAN
DATE: 30JUL2010
PROJECT #00401

A8

TOILET ROOM PLAN KEY NOTES
THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY.

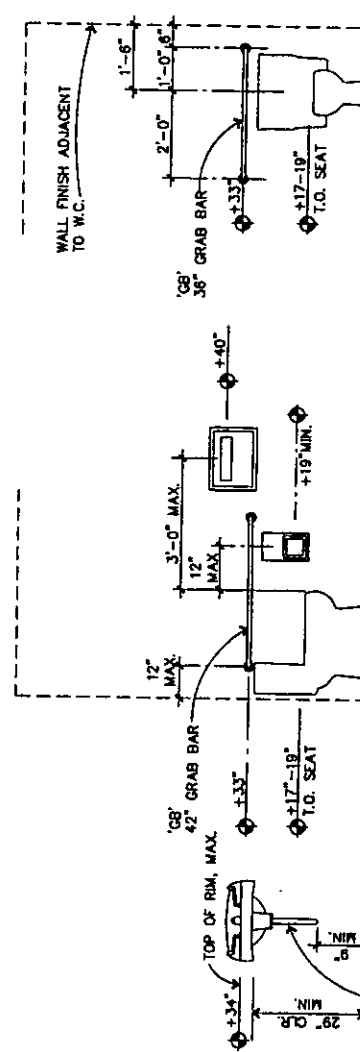
- 1 RE-MOUNT THIS EXISTING TOILET ROOM ACCESSORY TO CONFORM TO ACCESSIBILITY STANDARDS SHOWN BELOW.
- 2 EXISTING TOILET W/ ELONGATED BOWL AND CONFORMING SEAT HEIGHT
- 3 EXISTING SINK W/ SINGLE LEVER-HANDLE MIXING VALVE, HOT AND COLD WATER SUPPLY, TOP RIM AT +3.34" MAX. A.F.F., 29" MIN. KNEE CLEARANCE BENEATH FRONT EDGE OF SINK.
- 4 EXISTING 30"x48" CLEAR ACCESSIBLE FLOOR SPACE
- 5 EXISTING 60" DIAMETER CLEAR ACCESSIBLE FLOOR SPACE
- 6 EXISTING 1/4"H. ALUM. THRESHOLD TO REMAIN
- 7 REVERSE EXISTING DOOR AND FRAME WITHIN EXISTING WALL TO PROVIDE OUTSWINGING DOOR AS SHOWN HERE



★ APPROVED ★
JUL 30 2010

TOILET ROOM GENERAL NOTES PERMIT AND RESOURCE

1. ALL PLUMBING FIXTURES AND TOILET ROOM ACCESSORIES SHOWN ON THIS SHEET ARE EXISTING.
2. EXISTING TOILET ROOM FLOORING IS 12" VCT W/ 4" TOPSET RUBBER BASE.
3. EXISTING TOILET ROOM WALL FINISH IS SEMI-GLOSS ENAMEL PAINT O/ GYP. WALLBO. ABOVE A 48" FRP WAIRSCOT.
4. EXISTING TOILET ROOM CEILING FINISH IS SEMI-GLOSS PAING O/ GYP. WALLBO.



- 'FEC' FIRE EXTINGUISHER IN CABINET F.E. W/ WALL MOUNTED BRACKET AT +48" A.F.F.
- 'SO' SOAP DISPENSER WALL-MOUNTED
- 'PTD' PAPER TOWEL DISPENSER
- 'MIR' MIRROR
- 'W-H' WALL-HUNG SINK INSULATION AT HOT WATER PIPES AND DRAINLINE
- 'GB' TOILET, 42" GRAB BAR
- 'TP' TOILET PAPER DISPENSER
- 'SCD' SEAT COVER DISPENSER
- 'GB' 36" GRAB BAR
- 'T.O. SEAT' TOILET SEAT
- 'FLOOR MOUNTED TOILET (ELONGATED BOWL) AND SEAT (WHERE TANK-TYPE TOILET CONFLICTS W/ GRAB BAR MOUNTING, MOUNTING HEIGHT MAY BE 36" A.F.F. MAX.)

ACCESSIBILITY STANDARDS



David English
Architect



Professional Engineer
No. C-10889
Exp. Feb. 2011

ADULTSSA WINERY TENANT IMPROVEMENT
Alteration of Existing Offices
KITCHEN AND JANITOR DETAIL PLANS
SCALE: 3/8" = 1'-0"

DATE: 30JUL2010
PROJECT #00401

A9

KITCHEN AND JANITOR DETAIL PLANS KEY NOTES

THE FOLLOWING KEYNOTE LEGEND APPLIES TO KEYNOTES IDENTIFIED ON THIS SHEET ONLY.

- 1 50"W. x 25"D. STAINLESS STEEL WORK TABLE WITH DRAWERS, TYP. OF 2
- 2 NSF-LISTED 3-COMPARTMENT SINK WITH 2 DRAINBOARDS, 10" x 14" x 10"D. COMPARTMENTS MIN., INDIRECT DRAIN TO FLOOR SINK, NO PRE-RINSE SPRAY
- 3 RELOCATE EXISTING STAINLESS STEEL HANDWASH SINK, SINGLE LEVER MIXING VALVE AND SOAP DISPENSER. PROVIDE 2" S.S. DIRECT DRAIN CONNECTION IN WALL, 2" VENT
- 4 24"D. PLASTIC LAM. OR STAINLESS STEEL COUNTERTOP/8" BACKSPLASH, PLASTIC LAM. BASE CABINETS AND PLASTIC LAM. WALL HUNG CABINETS OVERHEAD.
- 5 STAINLESS STEEL REFRIGERATION UNIT, TRUE MANUFACTURING, MODEL T-23, 1/3 HP, 7.8 FLA, 115V.
- 6 (E) 12x12 FLOOR SINK BELOW
- 7 HOBART SR24H STAINLESS STEEL UNDER-COUNTER GLASS WASHER/SANITIZER, INDIRECT DRAIN TO FLOOR SINK
- 8 (E) FIRE EXTINGUISHER CABINET: #J 3A:40BC EXTINGUISHER
- 9 REPLACE (E) FLOORING WITH COMMERCIAL GRADE SHEET VINYL FLOORING W/ 4" INTEGRAL COVERED BASE AND CHEMICALLY WELDED SEAMS. ALTERNATE FLOORING #1: QUARRY TILE WITH 4" COVERED BASE TILE. ALTERNATE FLOORING #2: 1/4" TROWEL-APPLIED EPOXY FLOORING W/ 4" INTEGRAL COVERED BASE
- 10 (E) MOP SINK W/ HOT & COLD 'CHICAGO' FAUCET AND BUCKET HOOK.
- 11 INSTALL NEW FRP PANELING ON THE THREE WALLS ADJACENT TO MOP SINK
- 12 (E) 4.5KW 30 GALLON HOT WATER HEATER DEDICATED TO TOILET ROOMS (2 HAND SINKS) AND JANITOR'S SINK.
- 13 (E) 4.5KW 30 GALLON HOT WATER HEATER DEDICATED TO WINE TASTING TENANT IMPROVEMENT. REPLACE WITH A NEW WATER HEATER AS INDICATED ON THE SET OF DRAWINGS BEARING THE APPROVAL STAMP FROM THE SONOMA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH. WATER HEATER SHALL BE A C.E.C. APPROVED HIGH-EFFICIENCY UNIT.
GAS: 40,000 BTU
ELECTRIC: 8.0 KW
ON DEMAND: 3.5 GPM @ 60°F RISE WITH 80°F INFLOW PLAN CHECK

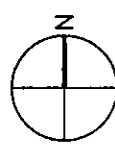
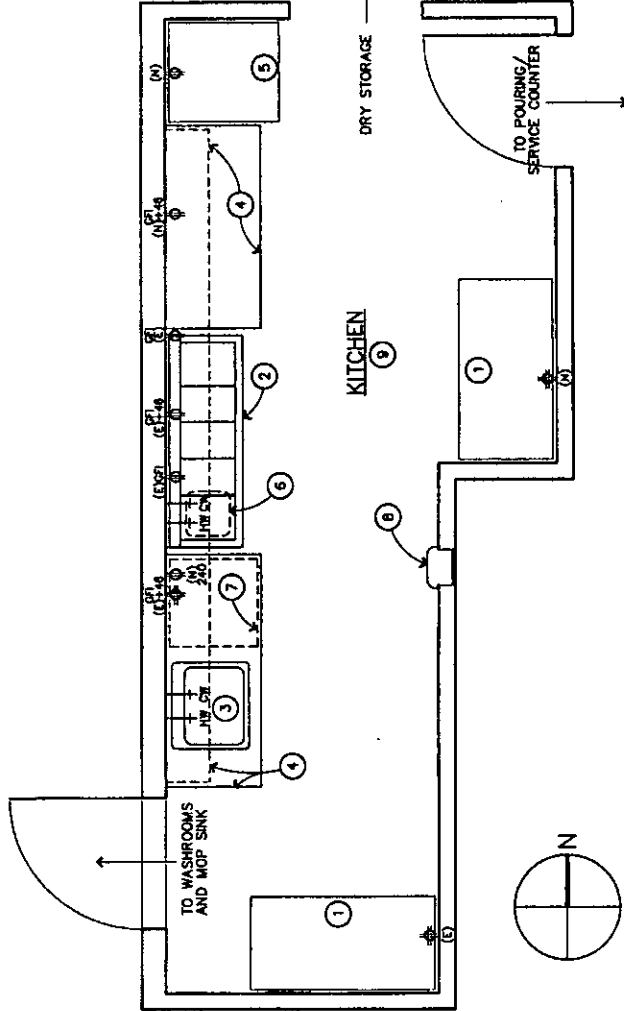
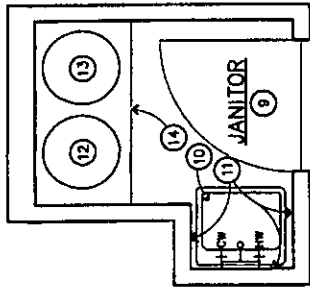
14 (E) RAISED PLATFORM

* APPROVED *

JUL 30 2010

KITCHEN AND JANITOR DETAIL PLANS GENERAL NOTES

1. THERE WILL BE NO FOOD PREP IN THIS FACILITY. LIMITED FOOD SERVICE WILL OCCASIONALLY BE PROVIDED BY A LICENSED CATERER.
2. INDIRECT DRAIN SHALL TERMINATE WITH A 1" AIR GAP ABOVE THE TOP RIM OF THE FLOOR SINK.
3. EXISTING WALL FINISHES IN THESE TWO ROOMS SHALL REMAIN: WHITE SEMI-GLOSS ENAMEL PAINT O/S SMOOTH FINISH GYP. DRYWALL. PROVIDE NEW FRP PANELING WHERE NOTED.
4. SEE SHEET AS FOR CEILING FINISHES.



0 1' 2' 3' 6'
SCALE: 3/8" = 1'-0"

Building/Grading Permit Application Submittal Checklist

CSS-003

<p>Site Address: 13750 ARNOLD DRIVE, GLEN EUN</p> <p>Applicant Name: ENTERRA ASSOC.</p> <p>Mailing Address: 1275 4TH STREET #200 SANTA ROSA, CA 95404</p> <p>City/Town: (707) 796 7042 State: Zip:</p> <p>Phone: Fax:</p>	<p>BLD/GRD Permit Number: BLD13-0678</p> <p>Assessor Parcel Number: 054-340-013</p> <p>Project Description: TASTING ROOM REMODEL</p>
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Plan Check Comments/ **Contact Person:** RICK SWINTA **Email:** enterracivil@gmail.com

Corrections: Email Mail to above address Call to pick up (phone number _____)

This form lists the items required for plancheck submittal. The fees received on this date _____ cover the cost of reviewing plans prior to permit issuance. **Before** a building permit can be issued, the required approvals listed below must be obtained and building permit fees, development fees, and any other applicable fees must be paid.

----- U DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff U -----

Required Plans for Building/Grading Plancheck:

- 4 complete sets of signed and / or stamped plans for building permits (additional sets may be required by other PRMD Divisions)
- 4 complete sets of signed and / or stamped plans for grading permits (additional sets may be required by other PRMD Divisions)

Mandatory Items for Building Permits Received

- Plot / Site Plan (form CSS-019)
- Floor Plan (electrical, plumbing & mechanical)
- Foundation Plan (footing details)
- Elevations
- Framing Plan
- Cross Sections
- Structural Details
- Signed Drawings (stamped if engineered)
- Site Evaluation**
- Required *under access Required*
- Waived (Per PRMD Policy 4-0-2)
- Completed

Other Items Which May be Required for Building Permits Required # Received

- Title 24 Energy Calcs (2 signed, sets)
- Engineering Calculations (2 signed, stamped sets)
- Hydrology & Hydraulic Calcs (2 signed, stamped sets)
- Geotechnical Report (2 signed, stamped sets)
- Geotechnical Foundation Approval Letter
- Truss Calcs and Layout (2 signed, stamped sets)
- Flood Elevation Certificate
- Letter of Authorization
- Installation Manuals (2)
- Special Inspection Form
- Septic Remodel Worksheet (form WLS-029)
- Build IT Green (BIG) or LEED Checklists (per form BPC-028)

Cubicle #	Required Approvals	Required for Permit Issuance	Plan Check Only Staff signature and date	Approved for Issuance Staff signature and date
12	Fire Services			<i>DM MACINTYRE</i> 2-19-13
14	Planning and Zoning File #: UPE 10-0024	Per UPE 10-0024 <input type="checkbox"/> Affordable Housing/Work Force Housing Fees (see PRMD website)	_____	<i>KE</i> 2/19/13
	Building	<input type="checkbox"/> Environmental Health: Food/Pool/Wine Tasting (707) 565-6565		
9	Public Sewer / Water	<i>WINDS TIER</i>	<i>AR</i> 2/19/13	<i>AR</i> 3-28-13
	Road Encroachment			<i>AR</i> 3-28-13
	Well and Septic			
	Code Enforcement			
	Grading/Storm Water			<i>AR</i> 3-28-13

Required Development Fees:

- School Mitigation Fee for _____ square feet
- Fire Mitigation Fee (Windsor, Airport, etc.)
- Address Assignment/Correction Fee
- Residential Traffic Mitigation Fee
- Commercial/Industrial Traffic Mitigation Fee
- Park Mitigation Fee
- Affordable Housing/Work Force Housing Fees (see PRMD website)

Applicant Signature: _____ **Staff Signature:** *Regina* **Date:** 2/19/13

Sonoma County Permit and Resource Management Department

2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103

Application for Unreasonable Hardship Determination for Accessibility Upgrades - Under Valuation Threshold

BPC-015

Purpose: When improvements are made to existing commercial and multi-family structures, Section 1134B.2 of the 2010 California Building Code (CBC) allows for an exception in-lieu of bringing the entire structure up to compliance with current code standards for accessibility requirements. CBC 1134B.2.1, Exception 1, states that projects with a construction cost less than the current (based on ENR Construction Cost Index Amount) valuation threshold (including the cumulative valuation of projects within a 3 year period) are eligible to provide disabled access upgrades equivalent to at least up to 20% of the cost of construction in the required priority as listed below. Refer to PRMD policies 9-4-8 'Accessibility Detail Requirements on Tenant Improvement Plans' and 9-4-13 'Accessibility Detail Requirements on Tenant Improvement Plans for County of Sonoma Agency Projects'.

VALUATION THRESHOLD AMOUNT: \$139,935	YEAR: 2012
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To Apply: The owner/applicant/architect shall complete and submit this form to PRMD Plan Check staff who will determine if the exemption may be granted. A review fee is required for this service.

Date 2/7/12

Building Permit Number B1013-0678

Owner ROCK GROVE, LLC

Phone Number (707) ~~946 7642~~ 933-8519

Site Address 13750 ARNOLD DRIVE

City GUES ELEN Zip _____

Applicant ENRPPA ASSOC.

Phone Number (707) 946 7642

In choosing which accessibility elements to provide, priority should be given to those elements that will provide the greatest access in the following order:

- a) Accessible entrance
- b) Accessible route to the altered area
- c) At least one accessible restroom for each gender
- d) Accessible telephones
- e) Accessible drinking fountains
- f) Parking, storage and alarms

**THESE ATTACHMENTS ARE PART
OF THE APPROVED PLANS.
* DO NOT REMOVE THEM ***

MAR 28 2013

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT
BUILDING PLAN CHECK

PERMIT # _____

Sonoma County Permit and Resource Management Department
2550 Ventura Avenue Santa Rosa, CA 95403-2829 (707)565-1900 Fax (707)565-1103

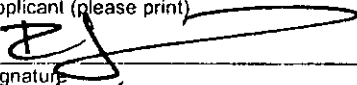
	Contractor's Estimated Cost
A) Cost of Construction: (Excluding accessibility upgrade)	\$ <u>20,000</u>
B) 20% of A):	\$ <u>4,000</u>

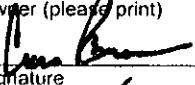
List the Upgrade Expenditures and their respective construction cost below:

1. PARTITION WALL	\$
2. ADDITIONAL DISPLAY SHELF	\$
3. RELOCATE ENTRY DOOR	\$
4. CONSTRUCT SIGNAGE WALL	\$
5.	\$
6. <u>NOTE: ACCESSIBILITY ADDRESSED</u>	\$
7. <u>UNDER BLD10-2344.</u>	\$
8.	\$
Total Upgrade Expenditures Must equal or exceed Line B on page 1	\$

This application establishes the grounds for a hardship exception under Section 1134B.2.1 2007 CBC exception 1 and 2.

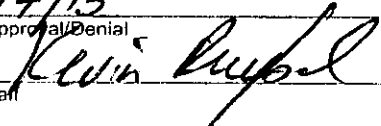
I further acknowledge that if the exception is approved, I will expend no less than 20% of the valuation of the project to improve accessibility as required by Section 1134B.2.1 of the California Building Code, exceptions 1 and 2. The following individuals provided information listed in the above section.

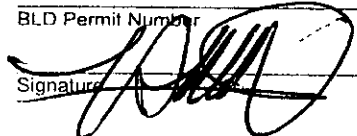
ENTERED
Applicant (please print)

Signature
2/7/12
Date

CHRISTIAN BORNER
Owner (please print)

Signature
2/7/12
Date

----- DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff -----
An application for a hardship exception has been filed with this office. The following action was taken:

- The above named project has been denied an unreasonable hardship exemption under Section 1134B.2.1 2010 CBC. Reason(s): incomplete forms
- The above named project has been granted an unreasonable hardship exemption from the requirements of the State of California CCR-Title 24 (Regulation for the Accommodation for the Disabled) pursuant to Section 1134B.2.1 2010 CBC.

3/4/13
Date of Approval/Denial

PRMD Staff

BLD Permit Number

Signature



County of Sonoma
FIRE & EMERGENCY SERVICES DEPARTMENT



FIRE SERVICES * EMERGENCY MANAGEMENT * HAZARDOUS MATERIALS

MARK ASTON, DIRECTOR/FIRE CHIEF

Job Copy

File Copy

To: Permits and Resource Management Department
Plan Review Division, Applicant

From: Roberta MacIntyre, Assistant Chief/Fire Marshal
Fire Prevention Division
2250 Ventura Ave. Santa Rosa, Ca 95403
707-565-1154 rmacinty@sonoma-county.org

Date: February 19, 2013

Permit# BLD13-0678

Scope TENANT IMPROVEMENT: NON-RES ADDITIONS/ALTERATIONS

This proposal is in reasonable compliance with State and Local Fire and Building Codes as adopted by the County of Sonoma and is approved with the following conditions:

A - In general:

- Existing fire protection systems must be currently functional and certified as maintained.
- Address must be in compliance with the fire regulations.
- Fire extinguishers must be installed and maintained according to fire regulations.
- Exit signs and emergency lighting shall be installed and maintained according to fire regulations.
- Improvements, modifications or changes to fire sprinkler system shall require a separate permit with the addition or modification of more than 6 sprinkler heads.
- Improvements, modifications or changes to fire alarm system shall require a separate permit with the addition or modification 6 or more devices, or the replacement of the fire alarm panel.

Inspections:

Prior to final approval, all State and Local Codes shall be verified by field inspection by a member of the Sonoma County Fire and Emergency Services Dept. The following Inspections are required:

- Fire Final (198)

Schedule of Inspections: 707-565-3551 using the automated system of the Building Department

Your Project has been billed for 2 Hour(s) of inspections based on the submitted permit. If additional inspections are required additional inspection fees will be billed at the current fee schedule adopted by the Sonoma County Board of Supervisors.

THESE ATTACHMENTS ARE PART OF THE APPROVED PLANS.
* DO NOT REMOVE THEM *

MAR 18 2013

PERMITS AND RESOURCE
MANAGEMENT DEPARTMENT
BUILDING PLAN CHECK