

44

22093 RUOFF DR
CPN99-0001

COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA

(707) 527-1900

FAX (707) 527-1103

COASTAL PERMIT - NO HEARING APPLICATION RECEIPT

Date: Feb 23, 1999
Time: 13:12
File #: CPN99-0001

Site Address

22093 RUOFF DR TIM

Owner

REED WILLARD G
351 N 9TH ST
SAN JOSE CA
408 748 1814 951123348

Applicant

REED WILLARD G
351 N 9TH ST
SAN JOSE CA
408 748 1814 951123348

Description

COASTAL PERMIT FOR NEW SFD (B-152452) & DET. GAR

Parcel No: 159-410-037
Zoning: CZ

Total Acres:
Gen Plan Land Use:

APPLICATION FEE SUMMARY

Item #	Item Account Code	Description	Fee	Previously Paid
0018	3141	1004 APPLICATION PROCES'G FEE	\$36.00	\$.00
0121	1341	FIRE SAFE STDS & REF PRMD	\$.00	\$.00
0334	3355	EH REVIEW PUB SEW & WAT	\$.00	\$.00
0337	3355	EH REV + 335/36 ALL OTHR	\$299.00	\$.00
0615	3140	PUBLIC ROAD REVIEW	\$.00	\$.00
1010	3803	2006 APPEAL (HEARING OFFICER)	\$.00	\$.00
1011	3803	APPEAL (ALL OTHERS)	\$.00	\$.00
1020	3806	6104 COASTAL PERM W/O HEARING	\$260.00	\$.00
1021	3806	6150 COASTAL PERM W/ANY OTHER	\$.00	\$.00
1054	3811	ENV REV ARCH LAB REFERRL	\$.00	\$.00
1055	3811	6118 ENV REV NO SPEC STUDIES	\$.00	\$.00
1056	3812	6119 ENV REV SPECIAL STUDIES	\$.00	\$.00
1057	3813	6118 ENV REV COMM'S REVIEW	\$.00	\$.00
1058	3148	6120 EIR REVIEW (CONTRACT+ %)	\$.00	\$.00
1110	3831	RECORDS SEARCH	\$.00	\$.00
1125	4026	TOPOGRAPHICAL MAPS	\$.00	\$.00
5018	3141-WAIVED	1004 PROCESSING FEE	\$.00	\$.00
5334	3355-WAIVED	EH REVIEW PUB SEW & WAT	\$.00	\$.00
5337	3355-WAIVED	EH REV + 5335/36 ALL OTH	\$.00	\$.00
5615	3140-WAIVED	PUBLIC ROAD REVIEW	\$.00	\$.00
6010	3803-WAIVED	APPEAL (HEARING OFFICER)	\$.00	\$.00
6011	3803-WAIVED	APPEAL (ALL OTHERS)	\$.00	\$.00
6020	3806-WAIVED	6104 COASTAL PERM W/O HEARING	\$.00	\$.00
6021	3806-WAIVED	6150 COASTAL PERM W/ANY OTHER	\$.00	\$.00
6054	3811-WAIVED	ENV REV ARCH LAB REFERRL	\$.00	\$.00
6055	3811-WAIVED	6118 ENV REV NO SPEC STUDIES	\$.00	\$.00
6056	3812-WAIVED	6119 ENV REV SPECIAL STUDIES	\$.00	\$.00
6057	3813-WAIVED	6118 ENV REV COMM'S REVIEW	\$.00	\$.00
6058	3148-WAIVED	6120 EIR REVIEW (CONTRACT+ %)	\$.00	\$.00
6110	3831-WAIVED	RECORDS SEARCH	\$.00	\$.00
6121	3831-WAIVED	RECORDS SEARCH	\$.00	\$.00
6125	4026-WAIVED	TOPOGRAPHICAL MAPS	\$.00	\$.00
			\$595.00	\$.00

Total Calculated Fees \$595.00
Previously Paid \$.00

Balance Due \$595.00

CASH REGISTER
VALIDATION
REQUIRED

016075 02/23/99801

#	0990001
SIERRA	\$595.00
***TTL	\$595.00
CHECK	\$595.00
CHNG	\$0.00



COUNTY OF SONOMA PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 527-1900 FAX (707) 527-1103

Field Operations • Code Enforcement • Permits • Environmental & Comprehensive Planning

PLANNING APPLICATION

File #: CPN 99-0001 Date Filed: 2-23-99
Accepted By: [Signature]

TYPE OF APPLICATION REQUESTED:

- | | | | |
|--|--|--|--------------------------------------|
| <input type="checkbox"/> Appeal of Ord. Interp. | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Cert. of Compliance | <input type="checkbox"/> Design Review Signs | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Cert. of Modification | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Mobile Home Permit | <input type="checkbox"/> Zone Change |
| <input checked="" type="checkbox"/> Coastal Permit | <input type="checkbox"/> General Plan Appeal | <input type="checkbox"/> Parcel Status Determination | <input type="checkbox"/> Other |
| <input type="checkbox"/> Coastal Permit/Use Permit | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Second Unit Permit | |
| <input type="checkbox"/> Design Review Comm./Ind. | <input type="checkbox"/> Major Sub. Extension | <input type="checkbox"/> Specific Plan Amendment | |

APPLICANT OR AGENT:

Name: Willard Reed
Mailing Address: 351 N 9th St
City/Town: San Jose CA
State/Zip: CA 95112
Phone: (408) 748-1814 x777(w)
Signature: [Signature]
Date: 02/20/99

OWNER, IF OTHER THAN APPLICANT

Name: JAMES R. [Signature]
Mailing Address: _____
City/Town: _____
State/Zip: _____
Phone: _____
Signature: _____
Date: _____

OTHER PERSONS TO BE NOTIFIED: Include Agents, Lenders, parties to Deed of Trust, Etc.

Name: _____	Name: _____	Name: _____
Address: _____	Address: _____	Address: _____
City: _____ Zip: _____	City: _____ Zip: _____	City: _____ Zip: _____
Title: _____ Phone: _____	Title: _____ Phone: _____	Title: _____ Phone: _____

PROJECT INFORMATION:

Address: 22093 Ruoff City/Town: Jenner (Timber Lake) SIERRA # 099001 \$595.00
Assessor's Parcel Number(s): 109-710-037-000 CHECK # 109-00
Project Description: Single family residence and garage CHNG \$0.00

Site Served by Public Water? (Y/N): No
Number of New Lots Proposed: None

Site Served by Public Sewer? (Y/N): No

COMMERCIAL/INDUSTRIAL USES: (Enter Numbers where applicable)

Bldg. Sq. Ft. Proposed: _____ Existing Employees: _____ New Employees Proposed: _____

RESIDENTIAL USES: (Enter Numbers where applicable)

New Single Family Homes: 1 New Multi-Family Units: 0 New Second Units: 0
New Mobile Homes: 0 New Units For Sale: 0 For Rent: 0 Density Bonus Units: 0

===== DO NOT WRITE BELOW THIS LINE =====

Staff Planner: Ann G Planning Area: 1 Supervisorial District: 5
Current Zoning: RR-CC-37 General Plan Land Use: RR
Specific Plan Title: COASTAL S.P. Land Use: _____ Needs CEQA Review: NO
1975 Rolls Checked: _____ Previous Files: _____

B-152452 (SPD)
B-152453 (DET. GAR)

PLANNING APPLICATION

NO VIOLATIONS INDICATED FOR THIS SITE - 2-23-99

EXISTING SITE CHARACTERISTICS:

Site Address: 22093 Roof, Timber Cove Acreage: 1.2

Existing use of property: undeveloped - residential

Proximity to creek, waterways, and impoundment areas: The lower end of the lot is a ravine (245' from house). It carries water when it rains, and drains into ocean 1 mile away.

Vegetation on site: Fir and redwood

General topography: flat near road, then gentle slope, then steep at lower end.

Surrounding uses to North: undeveloped residential South: undeveloped residential

East: undeveloped residential West: residential - 1 house

Photographs of site attached: _____

LAND DIVISIONS

Number of proposed parcels and proposed parcel sizes: 1.06

Proposed rezoning, if applicable: _____

Any other required approvals (list): _____

ENVIRONMENTAL STATUS: _____

INDEMNIFICATION AGREEMENT

"As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent passive or active negligence on the part of the County. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect."

Applicant

Property Owner (if other than applicant)

Date

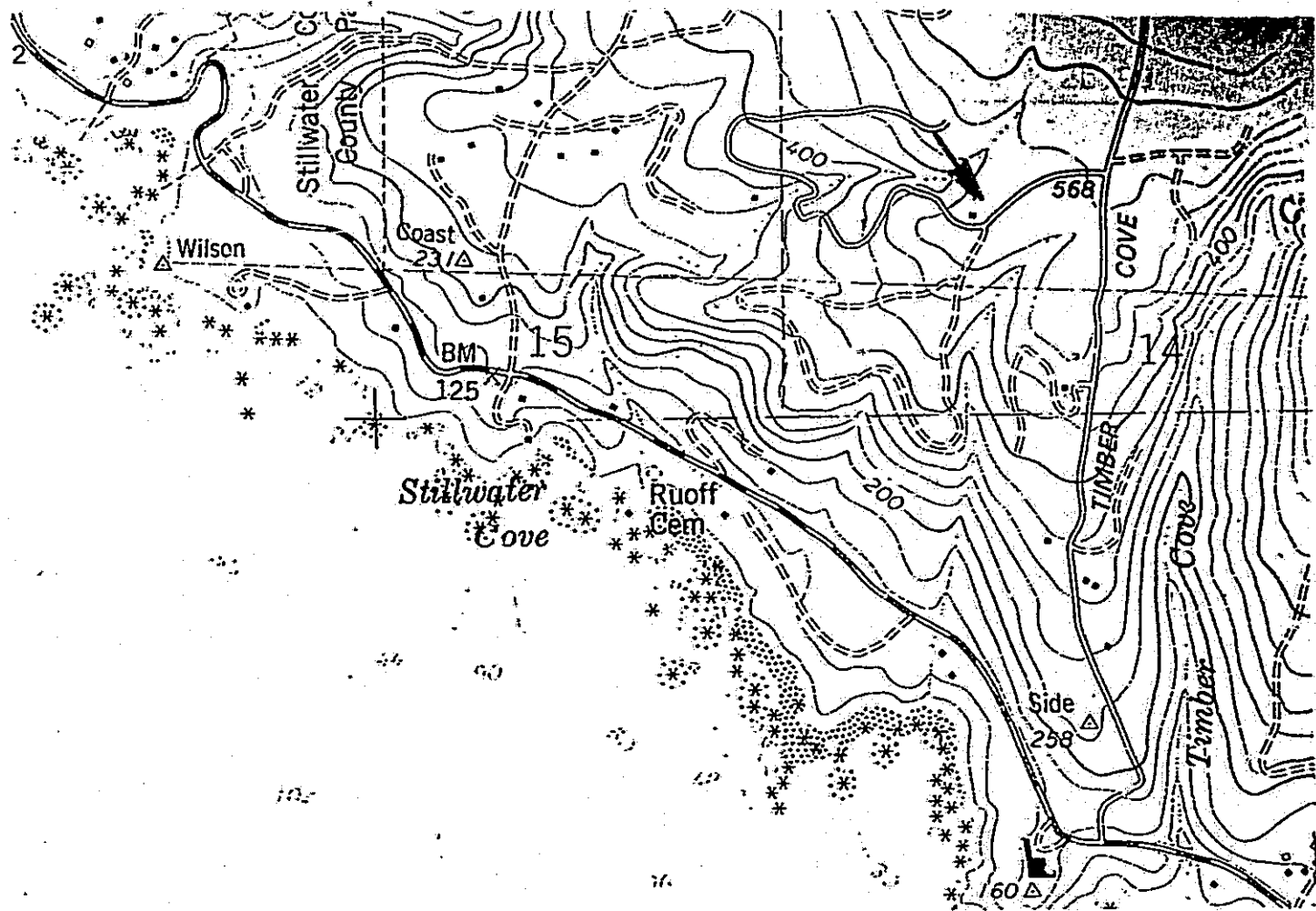
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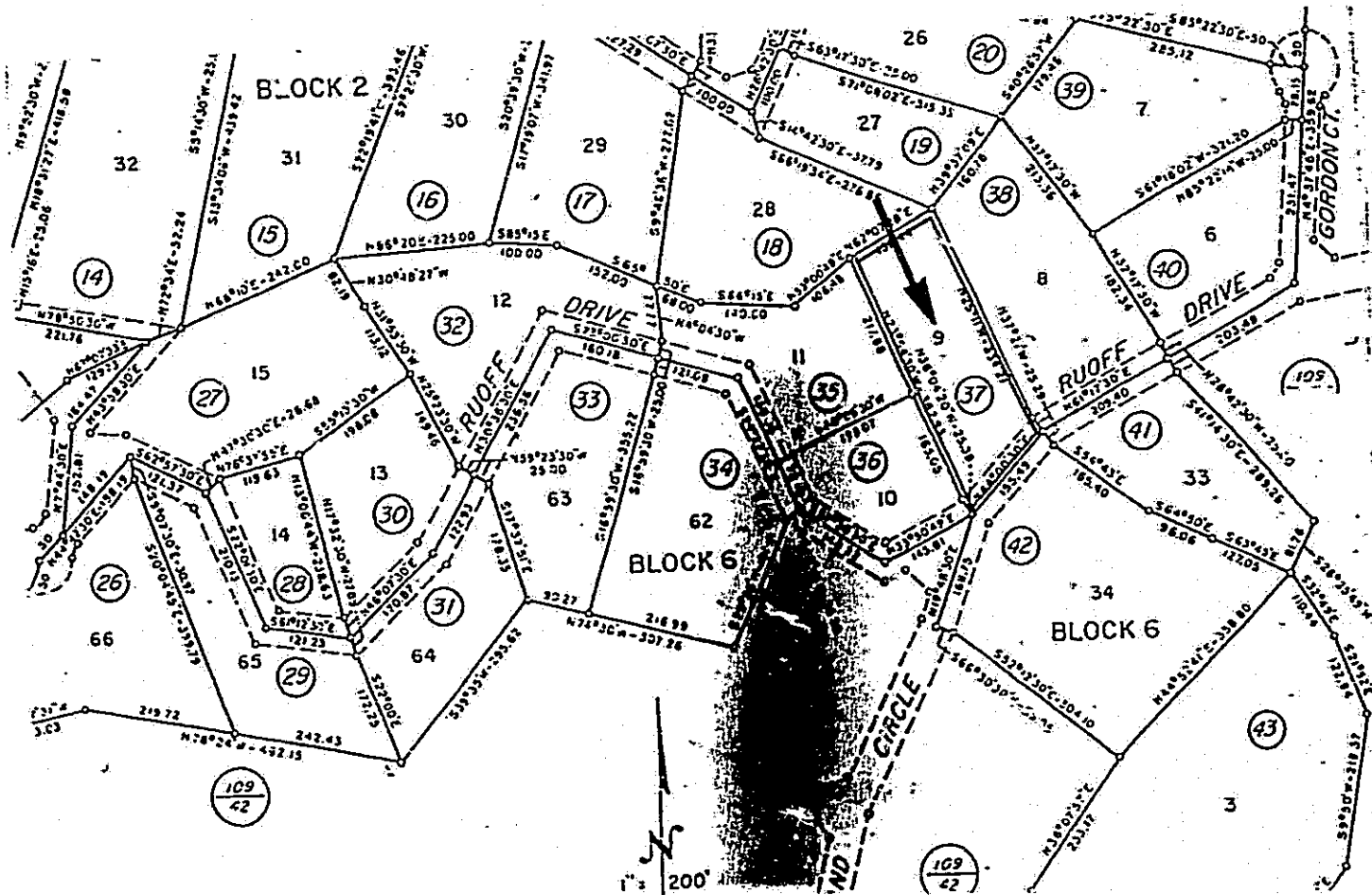
NOTE:

The purpose of the indemnification Agreement is to allow the County to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT
2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 527-1900 FAX (707) 527-1103

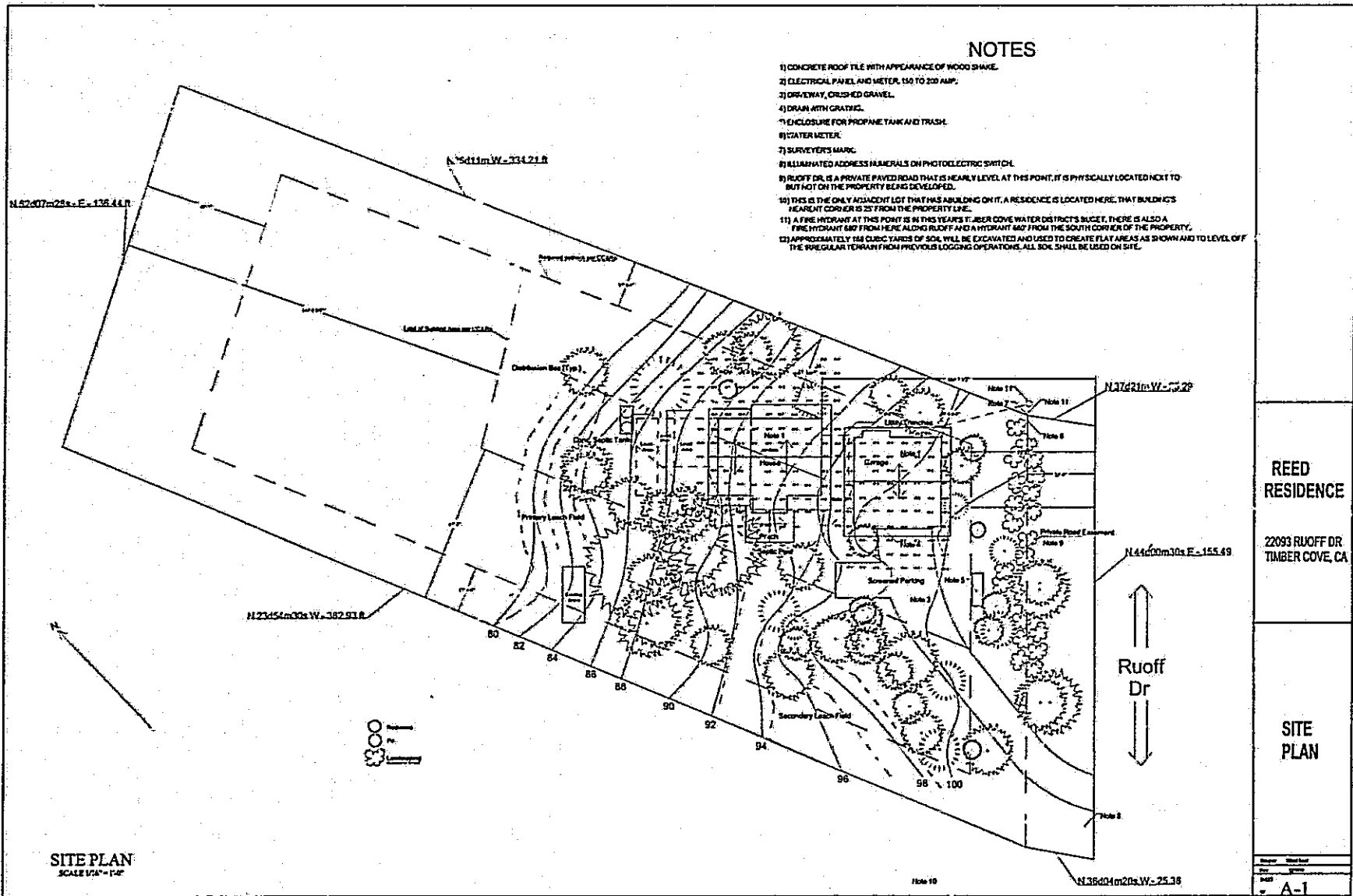
INDEMNIFICATION AGREEMENT





NOTES

- 1) CONCRETE ROOF TILE WITH APPEARANCE OF WOOD SHAKE.
- 2) ELECTRICAL PANEL AND METER, 150 TO 200 AMP.
- 3) DRIVEWAY, CRUSHED GRAVEL.
- 4) DRAIN WITH GRATING.
- 5) ENCLOSURE FOR PROPANE TANK AND TRASH.
- 6) WATER METER.
- 7) SURVEYERS MARK.
- 8) ILLUMINATED ADDRESS NUMERALS ON PHOTOELECTRIC SWITCH.
- 9) RUOFF DR. IS A PRIVATE PAVED ROAD THAT IS NEARLY LEVEL AT THIS POINT, IT IS PHYSICALLY LOCATED NEXT TO BUT NOT ON THE PROPERTY BEING DEVELOPED.
- 10) THIS IS THE ONLY ADJACENT LOT THAT HAS A BUILDING ON IT, A RESIDENCE IS LOCATED HERE, THAT BUILDING'S NEAREST CORNER IS 20' FROM THE PROPERTY LINE.
- 11) A FIRE HYDRANT AT THIS POINT IS IN THIS TOWN'S T. JEROME COVE WATER DISTRICT'S BUGET, THERE IS ALSO A FIRE HYDRANT 580' FROM HERE ALONG RUOFF DR AND A HYDRANT 640' FROM THE SOUTH CORNER OF THE PROPERTY.
- 12) APPROXIMATELY 150 CUBIC YARDS OF SOIL WILL BE EXCAVATED AND USED TO CREATE FLAT AREAS AS SHOWN AND TO LEVEL OFF THE IRREGULAR TERRAIN FROM PREVIOUS LOGGING OPERATIONS. ALL SOIL SHALL BE USED ON SITE.



REED
RESIDENCE

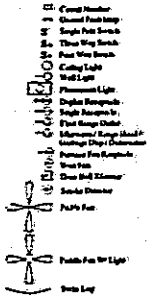
22093 RUOFF DR.
TIMBER COVE, CA

SITE
PLAN

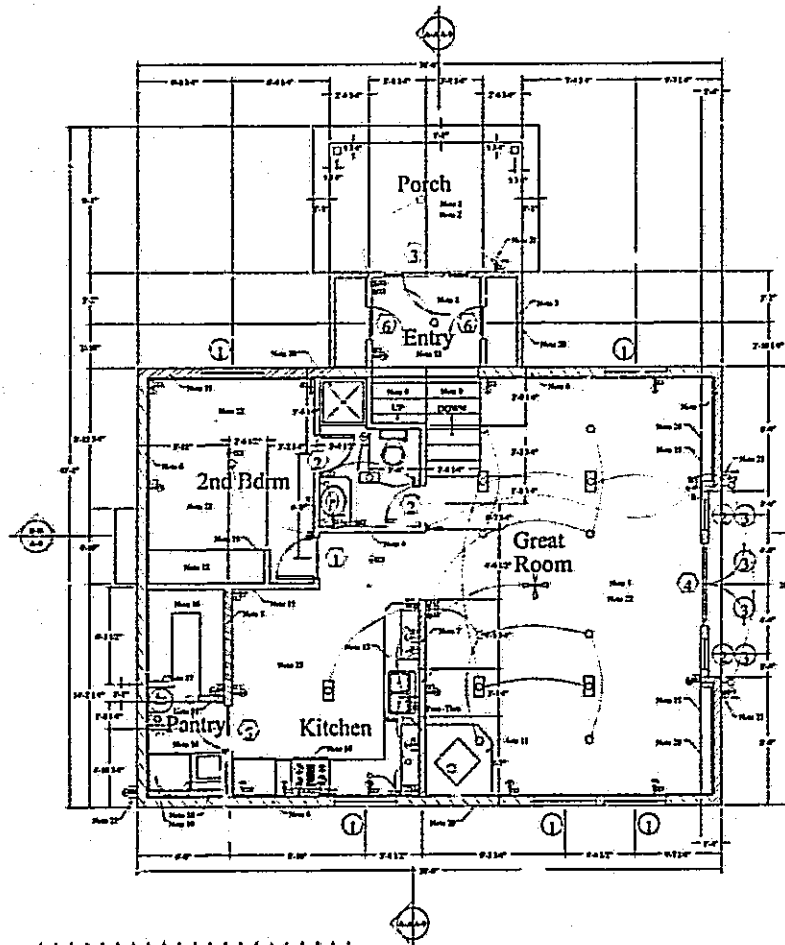
Project	Reed Residence
Date	10/1/88
Sheet	A-1

SITE PLAN
SCALE 1/8" = 1'-0"

ELECTRICAL SYMBOLS



- NOTES**
- 1) All dimensions in the plan are to the face of wall and are shown on the inside treatment and material unless otherwise noted.
 - 2) Dimensions in the plan are to the centerline of the door unless otherwise noted.
 - 3) The light cover for the kitchen cabinet may be low height.
 - 4) All closets are 20" deep except 18" deep at the entrance.
 - 5) The master and main bedrooms will be finished on the 2nd floor.
 - 6) Stairs to second floor will have risers in the house for use by the contractor and will be finished on the 2nd floor.
 - 7) There are no utility lines or other utility connections.



ID	SIZE	GLAZED	OPERABLE	REMARKS
1	2'-0" x 2'-0"	THERMAL	SLIDING	MILGARD VINYL W.S.
2	2'-0" x 2'-0"	THERMAL	FIXED	MILGARD VINYL W.S.
3	2'-0" x 2'-0"	THERMAL	FIXED	MILGARD VINYL W.S.

ID	GLAZED	SIZE	CORE	REMARKS
1		2'-0" x 2'-0"	HC	
2		2'-0" x 2'-0"	HC	
3		2'-0" x 2'-0"	HC	
4		2'-0" x 2'-0"	HC	DOUBLE DOOR
5		2'-0" x 2'-0"	HC	POCKET DOOR
6		2'-0" x 2'-0"	HC	

FIRST FLOOR & ELECTRICAL PLAN
FLOOR AREA 1030 SQ. FT.

NOTES

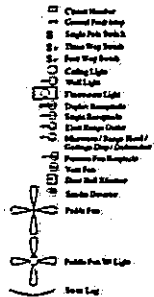
- 1) 3" CONC. SLAB OVER 3" SAND OVER 10 MIL VISQUEEN OVER 1 TO 4" CLEAN GRAVEL. CONCRETE TO DEVELOP 2800 PSI @ 28 DAYS.
- 2) SLOPE 1/4" IN 1' PER FOOT AWAY FROM HOUSE.
- 3) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE. 1/2" MIN PLY SHEATH ON OUTSIDE WITH 4 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 4) INTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 5) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE. 1/2" MIN PLY SHEATH ON OUTSIDE WITH 4 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN CAVITY.
- 6) EXTERIOR WALL, TWO ROWS 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE. 1/2" MIN PLY SHEATH ON OUTSIDE WITH 4 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN CAVITY.
- 7) INTERIOR WALL, 4X4'S AT EDGES AND ALONGSIDE PASS-THRU BEAM AT TOP. OTHERWISE, 2X4 WOOD STUDS 16" O.C. 3/4" STRUCTURAL PLY ON BOTH SIDES. WITH 4 NAILS STAGGERED AND SPACED 7" O.C. PANEL EDGES AND 12" O.C. FIELD. 1/2" GYPSUM WALLBOARD OVER PLY.
- 8) INTERIOR WALL WITH CAVITY FOR POCKET DOOR, 2X4 AND FLAT 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 9) STAIRWAY 2x8 RISERS, 1 1/2" HARDWOOD TREADS. OPEN RAILING WITH MIN OPENINGS LESS THAN 4". HANDRAIL 2x4" ABOVE TREAD NOSING. HANDGRIP FORTEN 1 1/2" DIA.
- 10) SHOWER, PREFABRICATED OR CERAMIC TILE OVER WATERPROOF WALLBOARD. TINTED GLASS DOOR.
- 11) 14" HIGH HEARTH, CERAMIC TILE ON FLOOR AND WALLS 6" HEIGHT ABOVE STOVE. INSTALL STOVE PER MANUFACTURER'S SPECIFICATIONS. DOUBLE WALL STEEL.
- 12) CUSTOM BUILT-IN CLOSET AND DRAWERS.
- 13) CUSTOM BUILT-IN CABINETS WITH PROVISION FOR DISHWASHER (NOT INSTALLED).
- 14) ELECTRIC RANGE WITH OVEN BELOW, HOOD WITH MICROWAVE.
- 15) FORCED AIR REGISTER IN WALL NEAR FLOOR.
- 16) FUTURE SHELVING.
- 17) 50 GAL. PROPANE WATER HEATER WITH THERMOSTAT CONTROLLED CIRCULATING PUMP. PROVIDE PRESSURE RELIEF VALVE TO OUTSIDE.
- 18) SPACE FOR WASHER DRYER COULD BE VENTED TO OUTSIDE.
- 19) SPACE FOR FREEZER.
- 20) HOSE BIB WITH ANTI-SIPHON VALVE.
- 21) OUTLET OUTLET, GROUND FAULT INTERRUPTER, WATERPROOF.
- 22) SLAB WITH TILE, ELEV. = 90'-3"
- 23) SLAB FLOOR WITH TILE OR LINOLEUM, ELEV. = 90'-3"
- 24) FUTURE BUILT-IN BOOKSHELF.
- 25) EXTERIOR WALL, TWO ROWS 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE. 1/2" MIN PLY SHEATH ON OUTSIDE AND ADDITIONAL 1/2" STRUCTURAL PLY BETWEEN ROWS OF 2X4'S. SHEATH AND STRUCTURAL PLY HAVE 4 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 26) SLAB WITH TILE, ELEV. = 90'-3"
- 27) SLAB WITHOUT COVERING, ELEV. = 90'-3"
- 28) BREAKER PANEL.

REED RESIDENCE
22093 RUOFF DR.
TIMBER COVE, CA

FIRST FLOOR AND ELECTRICAL PLAN

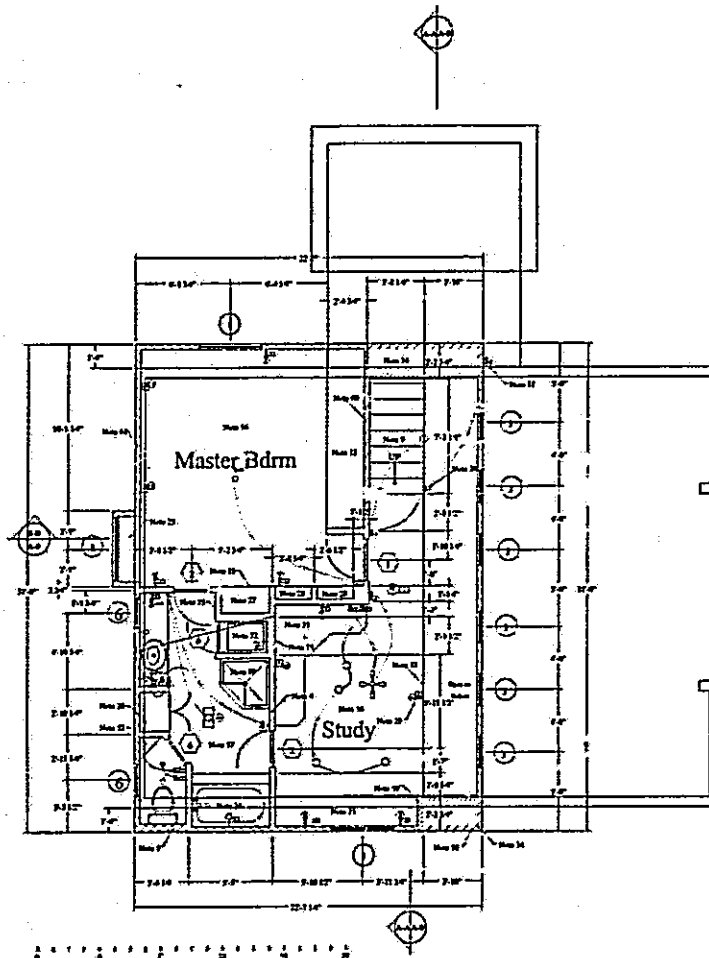
DIMENSIONS TO THE OUTSIDE WALLS ARE F.O.S. AND DO NOT INCLUDE THE SIDING THICKNESS.

ELECTRICAL SYMBOLS



NOTES

- 1) Dimensions to the grid lines are 1/8" and all dimensions are shown from outside and inside the walls.
- 2) Handicapped to the greatest extent possible, comply with the Americans with Disabilities Act (ADA).
- 3) All doors are to be swing-in unless otherwise noted.
- 4) The door and frame height will be based on the project.
- 5) Normal doors shall be 36" and 80" high. Doors shall be 24" wide unless otherwise noted.
- 6) All doors shall be swing-in unless otherwise noted.
- 7) This plan shows light and switch locations shown.
- 8) This plan shows the door which is to be swing-in unless otherwise noted.



ID	SIZE	GLAZED	OPERABLE	REMARKS
1	4'-0" x 2'-0"	YES	NO	ALUMINUM VINYL W.S.
2	2'-0" x 2'-0"	NO	NO	ALUMINUM VINYL W.S.
3	2'-0" x 2'-0"	NO	NO	ALUMINUM VINYL W.S.

ID	TY & E	GLAZED	SIZE	CORE	REMARKS
1	777	NO	2'-0" x 2'-0"	INC.	
2	777	NO	2'-0" x 2'-0"	INC.	
3	777	NO	2'-0" x 2'-0"	INC.	

SECOND FLOOR & ELECTRICAL PLAN

FLOOR AREA 650 SQ. FT.

SCALE 1/4" = 1'-0"

NOTES

- 1) INTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 2) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 1/2" MIN FLY SING ON OUTSIDE WITH 16 NAILS SPACED 1' O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN CAVITY.
- 3) STAIRWAY 2-1/2" RISES, 12" HARDWOOD TREADS. OPEN RAILING WITH 3/4" MIN OPENINGS LESS THAN 4" HANDRAIL, 3/4" ABOVE TREAD NOSING. HANDRAIL PORTER 1 1/2" DIA.
- 4) SHOWER, FLEX FABRICATED ON CERAMIC TILE OVER WATERPROOF WALLBOARD. TENSILE GLASS DOOR.
- 5) CUSTOM BUILT-IN CLOSET AND DRAWERS.
- 6) CUSTOM KITCHEN CABINETS WITH PROVISION FOR DISHWASHER (NOT INSTALLED).
- 7) FORCED AIR REGISTER IN WALL NEAR FLOOR.
- 8) JACUZZI BATH/TUB WITH CERAMIC TILE OVER WATERPROOF WALLBOARD. PROVIDE ACCESS DOOR FOR MAINTENANCE.
- 9) WINDOW SEAT.
- 10) 1/2" IN LINEN CLOSET.
- 11) BUILT-IN CLOSET.
- 12) FUTURE BUILT-IN BOOKSHELF.
- 13) DUAL OUTLET IN FLOOR.
- 14) 4-WAY SWITCH LOCATED ON FIRST FLOOR AT FOOT OF STAIRS.
- 15) 4-WAY SWITCH LOCATED IN ENTRY AT START OF STAIRS.
- 16) 70,000 BTU PROPANE FORCED AIR FURNACE, 95% EFFICIENT. PROVIDE OUTSIDE AIR VENTILATION, MOUNTED ON FLOOR RAISED 2".
- 17) OPEN RAILING, 3/4" MIN FROM FLOOR, MIN OPENINGS LESS THAN 4".
- 18) ENCLOSED INSULATED UNHEATED SPACE.
- 19) FUTURE BUILT-IN WORK AREA AND CABINETS.
- 20) FUTURE CABINET.
- 21) HARDWOOD FLOOR, ELEV. - 99'-2".
- 22) CERAMIC TILE FLOOR, ELEV. - 99'-2".
- 23) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" MIN FLY SING WITH 16 NAILS SPACED 1' O.C. PANEL EDGES AND 12" O.C. FIELD. OTHER SIDE UNFINISHED. INSTALL R13 IN WALL CAVITY.
- 24) INTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON ONE SIDE.
- 25) INTERIOR WALL, 2X4 S AT EDGES. BEAM AT TOP. OTHERWISE, 2X4 WOOD STUDS 16" O.C. WALLBOARD ONE SIDE, 1/2" STRUCTURAL FLY OTHER SIDE, WITH 16 NAILS STAGGERED 1' O.C. PANEL EDGES AND 12" O.C. FIELD, 1/2" GYPSUM WALLBOARD OVER FLY.
- 26) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 1/2" MIN FLY SING WITH 16 NAILS SPACED 1' O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.

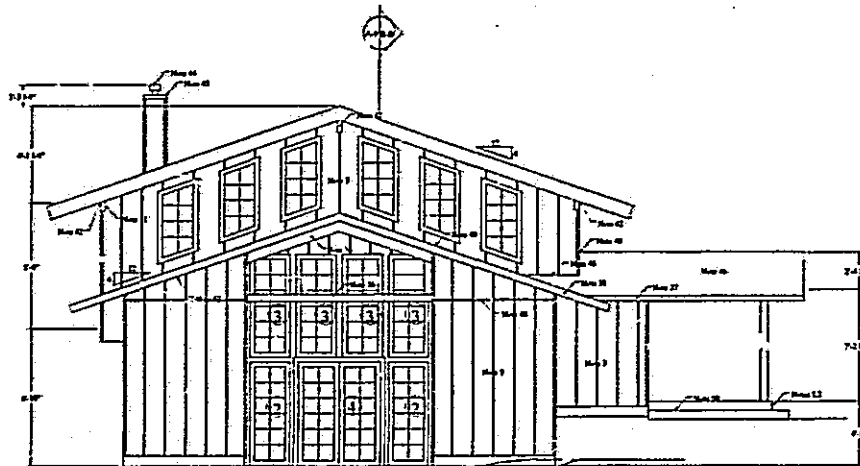
REED
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TIMBER COVE, CA

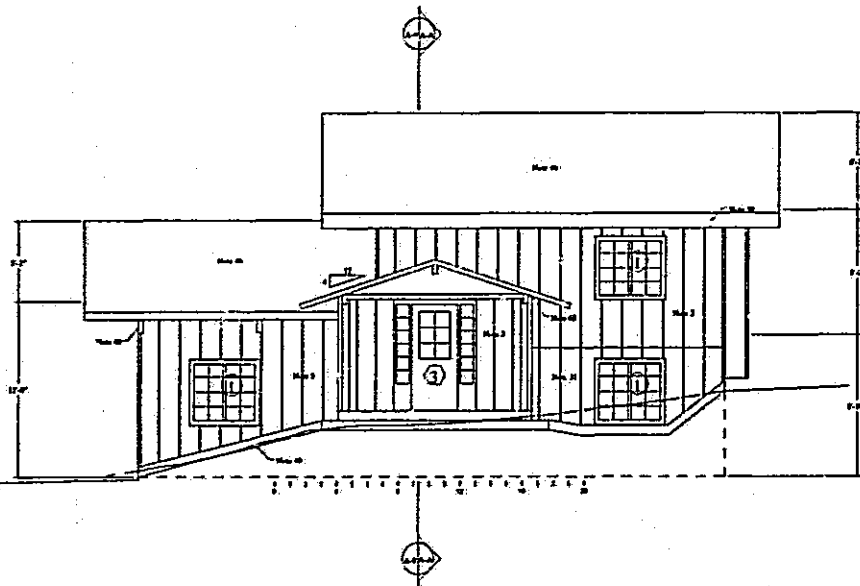
SECOND
FLOOR
AND
ELECTRICAL
PLAN

DIMENSIONS TO THE OUTSIDE WALLS ARE F.O.S.
AND DO NOT INCLUDE THE SIDING THICKNESS.

DATE: _____
BY: _____
NO: A-3



NORTH WEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH WEST ELEVATION
SCALE 1/4" = 1'-0"

NOTES

- 1) 4" CONCRETE OVER 2" SAND LAYER 10 MIL. W/SCREEN OVER 1 TO 4" CLEAN GRAVEL. CONCRETE TO DEVELOP 2800 PSI @ 28 DAYS.
- 2) SLOPE SLAB 1/8" PER FOOT AWAY FROM I.F. J.E.
- 3) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 15/32" MIN PLY SIDING WITH 84 NAILS SPACED 3" O.C. PANEL EDGES 2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 3) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 15/32" MIN PLY SIDING ON OUTSIDE WITH 84 NAILS SPACED 3" O.C. PANEL EDGES 2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 36) SEE 33-1.
- 37) 2X4 FASCIA BOARD.
- 38) 2X4 FASCIA BOARD.
- 39) 2X10 FASCIA BOARD.
- 40) END OF COG TRUSSES SUPPORT EAVES.
- 41) 4X8 BEAM TO SUPPORT EAVES.
- 42) 4X8 BEAM TO SUPPORT EAVES.
- 43) METAL CAP.
- 44) SPARK ARRESTOR.
- 45) Z CHANNEL.
- 46) CONCRETE ROOF TILES.
- 48) PROVIDE FLASHING ALL DIPS, VALLEYS AND RIDGES.
- 49) SEE 33-2.
- 50) CONCRETE STEPS, 7" RISERS, 13" TREADS.
- 51) EXTERIOR WALL, TWO ROWS 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 15/32" MIN PLY SIDING ON OUTSIDE AND ADDITIONAL 1/2" STRUCTURAL PLY BETWEEN ROWS OF 2X4S. SIDING AND STRUCTURAL PLY HAVE 84 NAILS SPACED 3" O.C. PANEL EDGES 2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 52) VENTILATION TO ROOF AREAS WITHOUT OPEN ATTIC SPACES PROVIDED BY DRILLING SIDING AND BLOCKING 1" HOLES 1-1/2 MIN DIA BETWEEN ALL RAFTERS, 2" MIN. SPACE ABOVE INSULATED. PROVIDE BAFFLES AND SCREENS. THIS PROVIDES REQUIRED VENTILATION FOR 22 SQ. FT EACH RAFTER AND SATISFIES REQUIREMENT FOR BOTH ROOFS.
- 53) ATTIC VENTILATION WITH SCREENS AND BAFFLES 37 SQ IN MIN EACH SIDE PROVIDES VENTILATION FOR 77 SQ FT.
- 64) FIB SIDING SHALL BE FACIATED OR STAINED NATURAL WOOD COLOR. TRIM COLOR TO BE REEDER EARTH TONE.

REED
RESIDENCE

22093 RUOFF DR
TIMBER COVE, CA

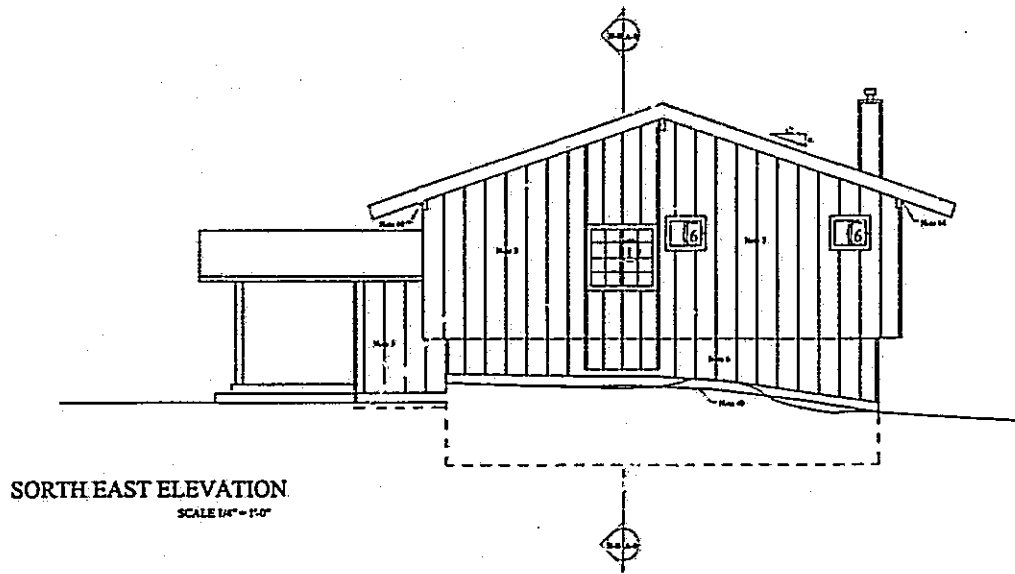
NORTH
WEST
ELEVATION

SOUTH
WEST
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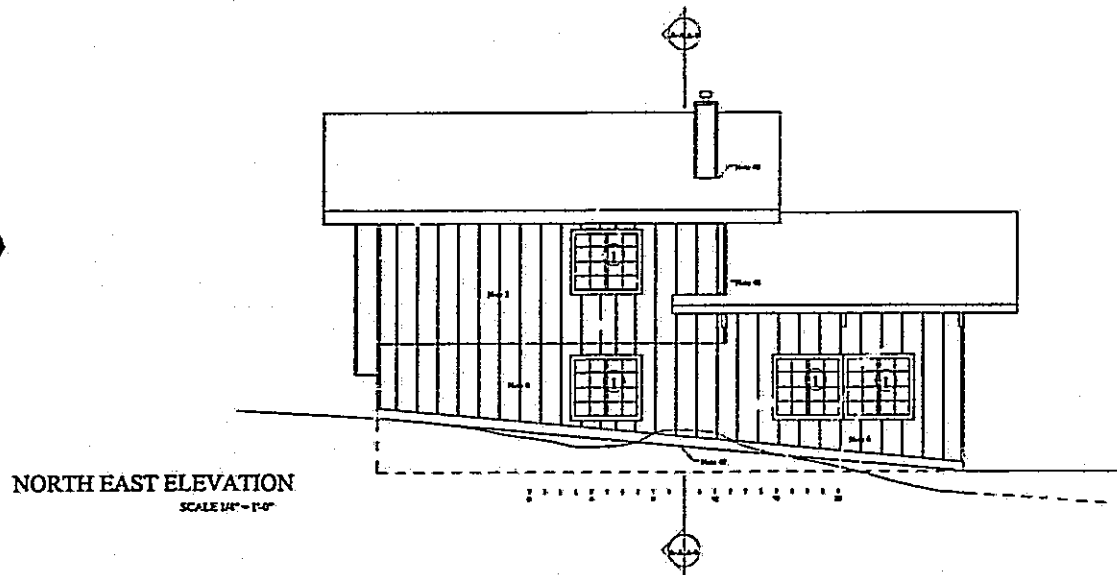
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Title
Date
A-4

NOTES

- 1) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 15/32" MIN PLY SIDING WITH 1/4" NAIL Y SPACED 3" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 2) EXTERIOR WALL, TWO ROWS 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 15/32" MIN PLY SIDING ON OUTSIDE WITH 1/4" NAILS SPACED 3" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN CAVITY.
- 3) PROVIDE FLASHING ALL JOINTS, VALLEYS AND EDGES.
- 4) SEE S2-2.
- 5) ATTIC VENTILATION WITH SCREENS AND BAFFLES, 133 SQ IN MIN THIS SID PROVIDES VENTILATION FOR 143 SQ FT.
- 6) ATTIC VENTILATION WITH SCREENS AND BAFFLES, 227 SQ IN MIN EACH SIDE PROVIDES VENTILATION FOR 234 SQ FT.



SOUTH EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH EAST ELEVATION
SCALE 1/4" = 1'-0"

**REED
RESIDENCE**

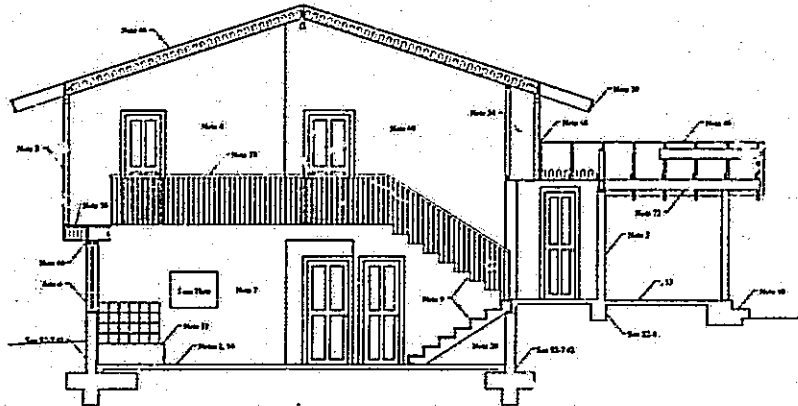
22093 RUOFF DR
TIMBER COVE, CA

**SOUTH
EAST
ELEVATION**

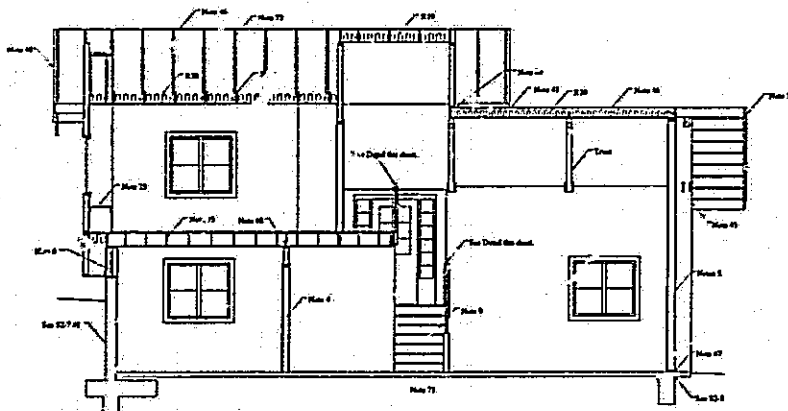
**NORTH
EAST
ELEVATION**

Design	Interior
Date	04/08
Sheet	A-5

SECTION A-A
SCALE 1/4" = 1'-0"

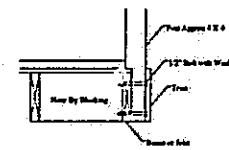


SECTION B-B
SCALE 1/4" = 1'-0"



NOTES

- 1) 4" CONCRETE OVER 2" SAND OVER 10 MIL VISQUEEN OVER 3 TO 4" CLEAN GRAVEL. CONCRETE TO DEVELOP 2800 PSI @ 28 DAYS.
- 2) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 1/2" MIN PLY SIDING WITH 8 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 4) INTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 5) EXTERIOR WALL, 2X6 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 1/2" MIN PLY SIDING ON OUTSIDE WITH 8 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" NOMINAL OR WIDER) AND 12" O.C. FIELD. INSTALL R19 IN WALL CAVITY.
- 6) EXTERIOR WALL, TWO ROWS 2" x 7" STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON INSIDE, 1/2" MIN PLY SIDING ON OUTSIDE WITH 8 NAILS SPACED 7" O.C. PANEL EDGES (2" O.C. WHERE FRAMING IS 3" OR WIDER) AND 12" O.C. FIELD. INSTALL R13 IN WALL CAVITY.
- 7) INTERIOR WALL, 2X4 STUDS AND ALONGSIDE PASS-THROUGH BEAM AT TOP, OTHERWISE, 2X4 WOOD STUDS 16" O.C. 1/2" STRUCTURAL PLY ON BOTH SIDES, WITH 8 NAILS STAGGERED AND SPACED 7" O.C. PANEL EDGES AND 12" O.C. FIELD. 1/2" GYPSUM WALLBOARD OVER PLY.
- 9) STAIR WALK-UP RISER, 1 1/2" HARDWOOD TREADS, OPEN RAILING WITH MIN. OPENINGS LESS THAN 4", HANDLE 1/2" ABOVE TREAD NOSING, HANDRIP PORTION 1 1/2" DIA.
- 11) 14" HIGH HEARTH, CERAMIC TILE ON FLOOR AND WALLS TO 18" HIGH ABOVE STOVE. INSTALL STOVE PER MANUFACTURER'S SPECIFICATIONS. DOUBLE WALL STEEL CHIMNEY WITH SPARK ARRESTOR AT OUTLET.
- 25) WINDOW SEAT.
- 33) OPEN RAILING, 36" MIN FROM FLOOR, MIN OPENINGS LESS THAN 4".
- 34) ENCLOSED INSULATED FINISHED SPACE.
- 38) 2X6 1" x 6" BOARD.
- 39) 2X10 1" x 10" BOARD.
- 41) 4X4 BEAM TO SUPPORT EAVES.
- 43) CHANNEL.
- 44) CONCRETE ROOF TILES.
- 48) PROVIDE FLASHING ALL JOINTS, VALLEYS AND RIDGES.
- 50) CONCRETE STEPS, 7" RISER, 11" TREADS.
- 52) SLAB WITH TILE. ELEV. = 84'-9".
- 54) SLAB WITHOUT COVERING. ELEV. = 82'-3".
- 54) HARDWOOD FLOOR. ELEV. = 89'-3".
- 60) INTERIOR WALL, 2X4 STUDS AT EDGES. BEAM AT TOP, OTHERWISE, 2X4 WOOD STUDS 16" O.C. WALLBOARD ONE SIDE, 1/2" STRUCTURAL PLY OTHER SIDE, WITH 8 NAILS STAGGERED AND SPACED 7" O.C. PANEL EDGES AND 12" O.C. FIELD. 1/2" GYPSUM WALLBOARD OVER PLY.
- 64) DOUBLE PLATE WITH 4" MIN LAP AT SPACE, NAIL 6" AT 16" O.C. AND 3-1/4" AT EACH SIDE OF JOINT. LAP PLATE AT INTERSECTION WALLS.
- 67) SOLE PLATE IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
- 68) PROVIDE BLOCKING, JOISTS OR BEAMS ABOVE AND BELOW ALL WALLS.
- 70) 1/2" GYPSUM WALLBOARD REQUIRED FOR 1 HOUR SEPARATION IN USALLS SPACE BELOW STAIR.
- 71) HVAC DUCTS TO BE LOCATED IN FURRED WALL, FLOOR, CEILING SPACE OR BENEATH SF. ALL DRAWINGS TO BE SUBMITTED TO SHERIDA COUNTY BUILDING DEPARTMENT WITH TESTS FOR AIR LEAKAGE, CEILING, ATTIC MATERIAL, SIDES, BRACING AND SUPPORTS.
- 72) BEAMS TO SUPPORT PORCH.
- 73) 2X10 RAFTERS.
- 74) 2X10 CEILING JOISTS.
- 75) TRUSS JOIST SPACING: L15N 15E MICRO-LAM LVL 9.5" X 17.75" OR L10U 12" x 12" PACIFIC GANG-LAM W 2450 9.5" X 12.75".



STAIR AND STUDY RAIL DETAIL
NOT TO SCALE

REED
RESIDENCE

22093 RUOFF DR.
TIMBER COVE, CA

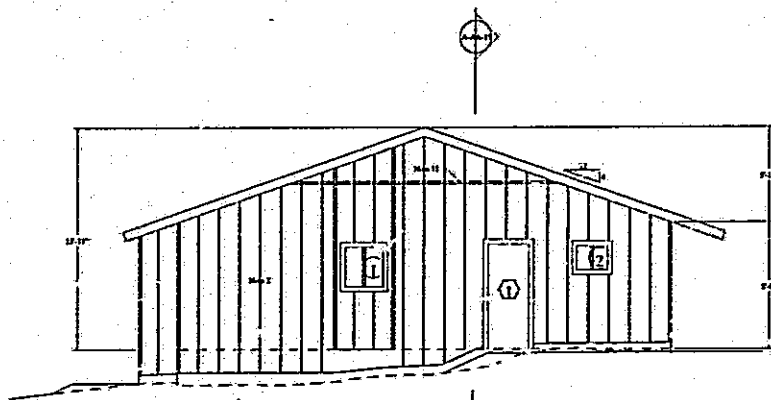
SECTION
A-A

SECTION
B-B

Sheet
of
A-9

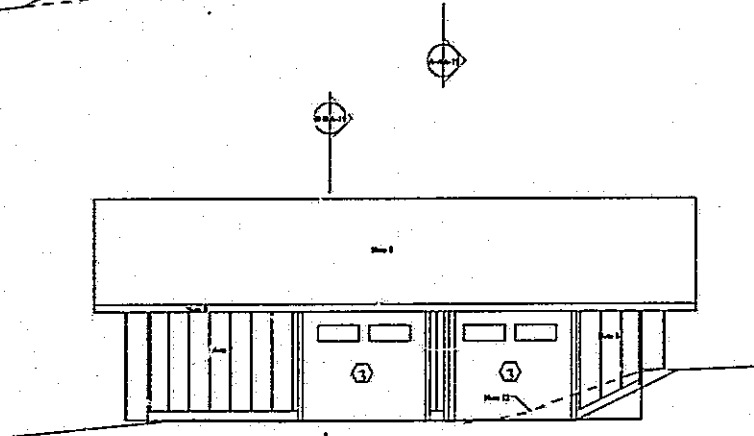
NOTES

- 1) 3" MIN. CONCRETE OVER 1" SAND OVER 10 MIL. VISQUEEN OVER CLEAN GRAVEL. CONCRETE TO DEVELOP 28 DAYS. SLOPE SLAB 1/4" PER FOOT TOWARD DOORS.
- 2) EXTERIOR WALL, 2"x4" WOOD STUDS 16" O.C. 1/2" MIN. PLY SIDING WITH 8 NAILS SPACED 1" O.C. PANEL EDGES AND 12" O.C. NON-EDGES.
- 3) INTERIOR WALL, 2x4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 4) SHOWER, PREFABRICATED OR CERAMIC TILE OVER WATERPROOF WALLBOARD, TEMPERED GLASS DOOR.
- 5) LINEAR DRAIN WITH GRATING.
- 6) ELECTRICAL PANEL AND METER.
- 7) SHEAR WALL, 15/32 MIN SIDING ON OUTSIDE, 2 X 4 FRAMING WITH 8 NAILS SPACED 1" O.C. PANEL EDGES AND 12" O.C. NON-EDGES. 1/2" DIA HOLD-DOWNS INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- 8) CONCRETE ROOF TRUSS.
- 9) 2x4 FASCIA BOARD.
- 10) HOSE BIB WITH ANTI-SIPHON VALVE.
- 11) 2" CHANNEL.
- 12) EXISTING GRADE.
- 13) FR. SIDING SHALL BE PAINTED OR STAINED NATURAL WOOD COLOR. TRIM COLOR TO BE REDDISH EARTH TONE.



NORTH WEST ELEVATION

SCALE 1/4" = 1'-0"



SOUTH WEST ELEVATION

SCALE 1/4" = 1'-0"

REED
RESIDENCE

22093 RUOFF DR.
TIMBER COVE, CA

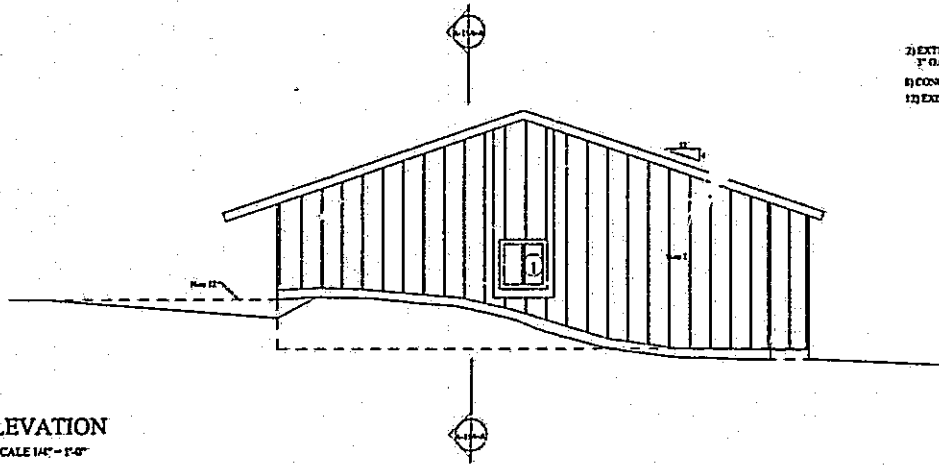
GARAGE
NW
ELEVATION

GARAGE
SW
ELEVATION

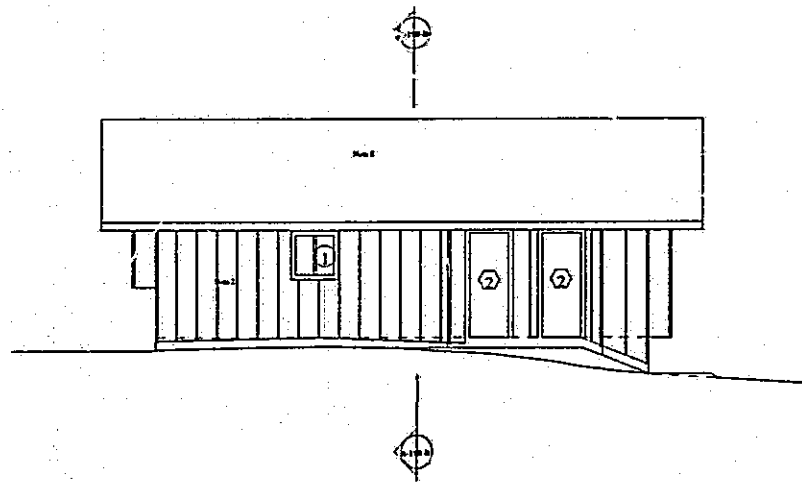
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BY
A-11

NOTES

- 2) EXTERIOR WALL: 2X4 WOOD STUDS 16" O.C. 1/2" MIN PLY SIDING WITH 1/4" NAILS SPACED 1" O.C. PANEL EDGES AND 12" O.C. NON-EDGES.
- 1) CONCRETE 8" x 8" TILE.
- 12) EXISTING GRADE.



GARAGE SOUTH EAST ELEVATION
SCALE 1/4" = 1'-0"



GARAGE NORTH EAST ELEVATION
SCALE 1/4" = 1'-0"

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RESIDENCE**

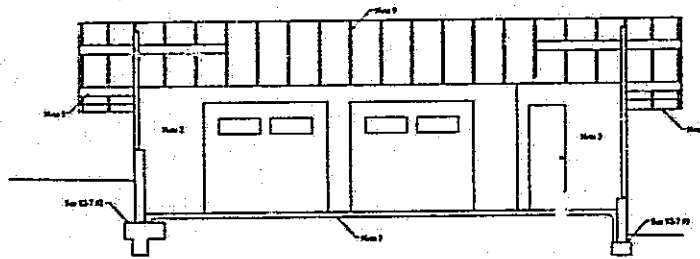
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TIMBER COVE, CA

**GARAGE
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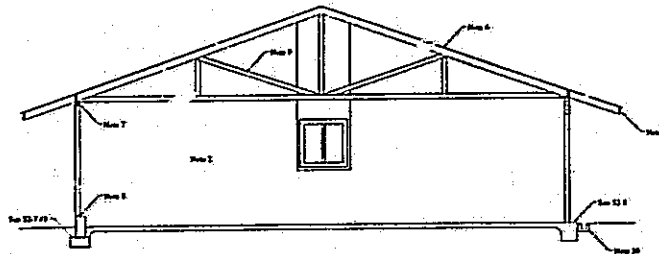
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ELEVATION**

Project	Number
Client	Name
Sheet	A-12

GARAGE SECTION A-A
SCALE 1/4" = 1'-0"



GARAGE SECTION B-B
SCALE 1/4" = 1'-0"



.....

NOTES

- 1) 3 1/2" CONCRETE OVER 2" SAND OVER 10 MIL. VISQUEEN OVER 3 TO 4" CLEAN GRAVEL. CONCRETE TO DEVELOP 2000 PSI @ 28 DAYS.
- 2) EXTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" MIN PLY SIDING WITH 1/4" NAILS SPACED 1" O.C. PANEL EDGES AND 12" O.C. FIELD.
- 3) INTERIOR WALL, 2X4 WOOD STUDS 16" O.C. 1/2" GYPSUM WALLBOARD ON EACH SIDE.
- 4) 2X6 FASCIA BOARD.
- 5) 4X8 BEAM " " SUPPORT EAVES.
- 6) CONCRETE ROOF TILES.
- 7) DOUBLE PLATE WITH 48" MIN LAP AT SPLICE, NAIL 164 AT 16" O.C. AND 2-164 AT EACH SIDE OF JOINT. LAP PLATE AT INTERSECTION WALLS.
- 8) SOLE PLATE IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- 9) FACTORY BUILT ENGINEERED TRUSSES.
- 10) DRAIN.

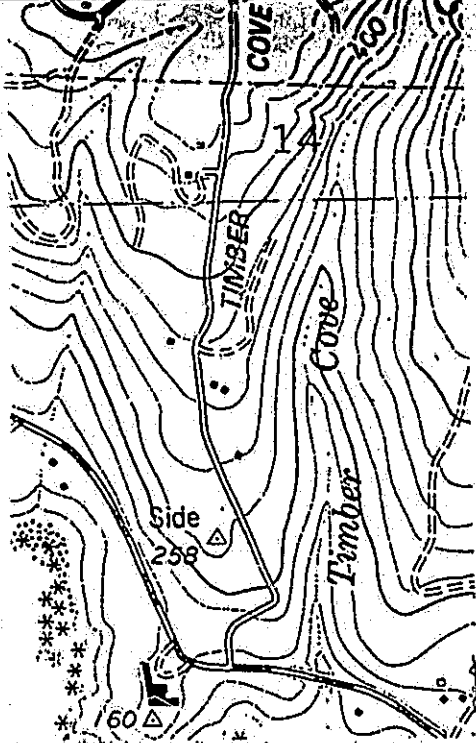
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RESIDENCE

22093 RUOFF DR.
TIMBER COVE, CA

GARAGE
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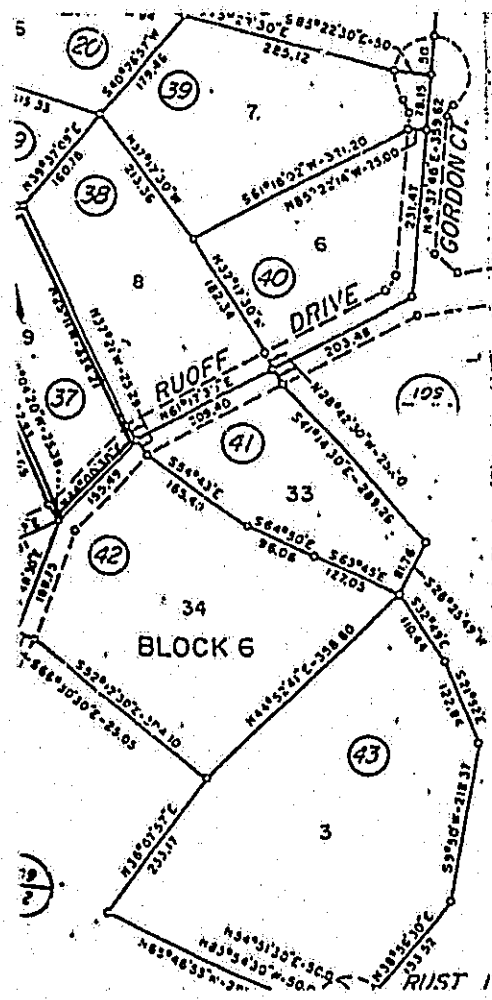
GARAGE
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BY
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REED RESIDENCE

22093 RUOFF DR
TIMBER COVE, CA



Timber Cove Homes Association
Plans Approved

Tom Gilbert
SIGNATURE

2-23-99
DATE

This stamp certifies that this set of plans has been approved by the Timber Cove Homes Association for submission to the County of Sonoma Building Inspection Department and Planning Department. Only plans bearing this stamp will be accepted by the County of Sonoma for permit purposes.

TITLE SHEET

Designer:	Willard Reed
Date:	02/19/99
SHEET	T-1
OF	

**CULTURAL RESOURCES STUDY OF
TWO PARCELS ON RUOFF DRIVE, NORTH OF
TIMBER COVE, SONOMA COUNTY, CALIFORNIA**

Prepared by:


A handwritten signature in cursive script, reading "Vicki R. Beard", is written over a horizontal line.

Vicki R. Beard, M.A.

Tom Origer & Associates
Archaeology/Historical Research
Post Office Box 1531
Rohnert Park, CA 94927
(707) 792-2797

Requested by:

Willard Reed
3097 Taper Avenue
Santa Clara, CA 95051

May 21, 1999

ABSTRACT

The cultural resources study reported herein was requested by the property owner, Willard Reed to fulfill environmental concerns regarding development of two parcels on Ruoff Drive, north of Timber Cove, Sonoma County. The adjoining lots are situated at 22087 and 22093 Ruoff Drive and are 1.25 and 1.33-acres in size, respectively. Proposed development includes construction of a single-family dwelling and a detached two-car garage on the smaller parcel. As part of Sonoma County's environmental review process, a cultural resources study was conducted to identify potentially significant resources within the project's impact area. Documentation pertaining to this study is on file at the offices of Tom Origer & Associates (File No. 99-26S).

This cultural resources study included archival research at the Northwest Information Center, Sonoma State University (NWIC 99-332), examination of the library and files of Tom Origer & Associates, and field inspection of the project location. Archival research found that no prehistoric or historic cultural resources are known to be on the property; however, there has been no formal inspection of the entire study area, and prehistoric archaeological sites have been recorded nearby.

Field reconnaissance was completed on May 18, 1999, at which time both parcels were examined for the presence of cultural resources. Field inspection found no prehistoric or historic-period cultural resources.

Synopsis

Project: Reed Property, 22087 and 22093 Ruoff Drive

Location: Sonoma County

Quadrangle: 7.5' Plantation

Study Type: Intensive Survey

Scope: 2.58 acres

Finds: None

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Figure 2. Study location (<i>Plantation, California</i> 7.5' topographic quadrangle, USGS 1977).	4

INTRODUCTION

This report describes a cultural resources study completed at the request of Willard Reed, property owner. The study was required by the Sonoma County Permit and Resource Management Department as part of the environmental review process for proposed development of two parcels on Ruoff Drive, north of Timber Cove, Sonoma County. The parcels are:

22037 Ruoff Drive
APN 109-410-038
1.33 acres

22033 Ruoff Drive
APN 109-410-037
1.25 acres

Planned development includes construction of a single-family dwelling and a detached garage on the smaller parcel (APN 109-410-037). The study area is situated in northwest Sonoma County, about one mile north of the intersection of Highway 1 and Timber Cove Road (Figure 1).

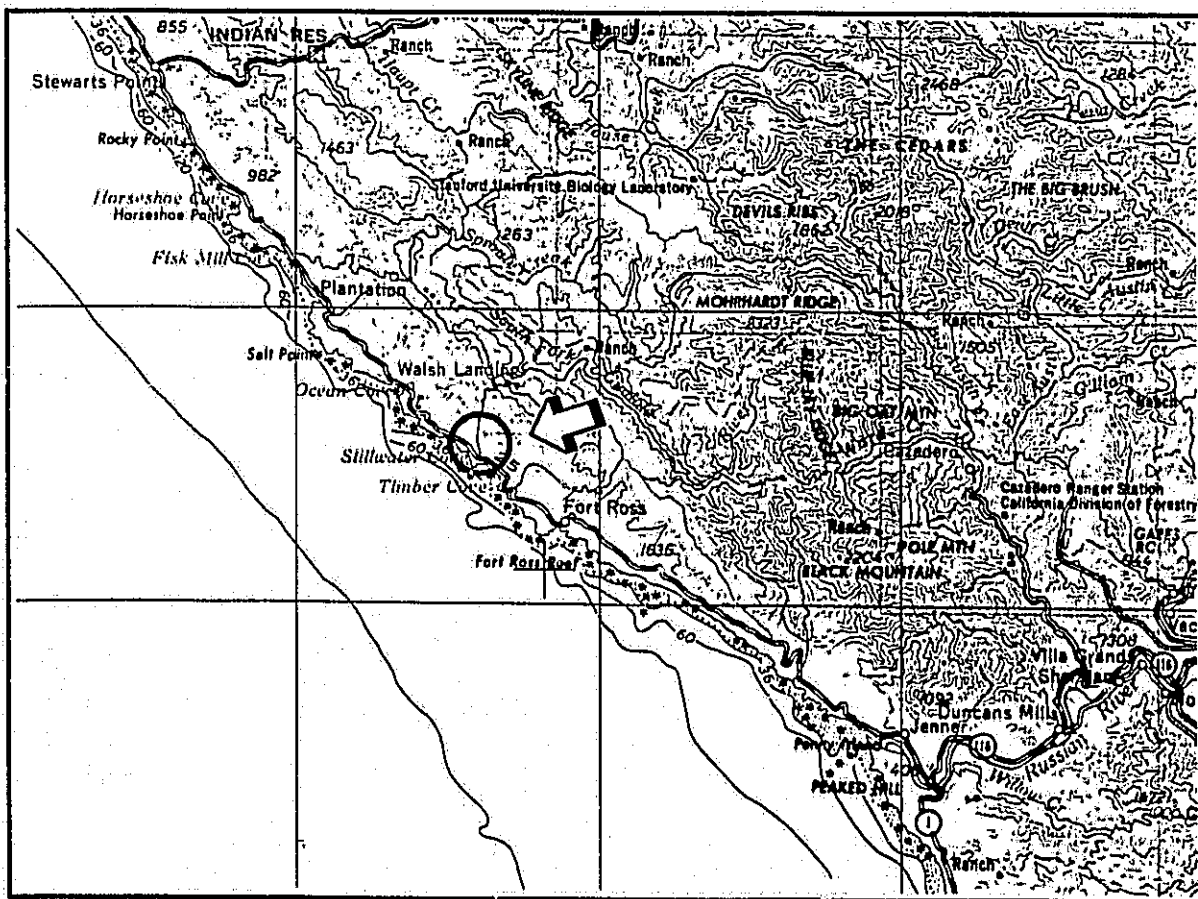


Figure 1. Project Vicinity (Santa Rosa 1:250,000-scale map, U.S. Geological Survey [USGS] 1970).

REGULATORY CONTEXT

The California Environmental Quality Act requires that cultural resources must be considered during the environmental review process. This is accomplished by an inventory of the types of resources within a study area, and by assessing the potential that cultural resources could be adversely affected by development.

This cultural resources study was designed to satisfy environmental issues specified in the California Environmental Quality Act and its Guidelines (Section 15064.5) by: 1) identifying all cultural resources within the project area; 2) offering a preliminary significance evaluation of the identified cultural resources; 3) assessing resource vulnerability to adverse impacts that could arise from project activities; and 4) offering suggestions designed to protect resource integrity, as warranted.

Resource Definitions

Cultural resources are classified by the State Office of Historic Preservation (OHP) as sites, buildings, structures, objects and districts, and each is described by OHP (1995) as follows.

Site. A site is the location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself possesses historic, cultural, or archaeological value regardless of the value of any existing structure.

Building. A building, such as a house, barn, church, hotel, or similar construction, is created principally to shelter any form of human activity. "Building" may also be used to refer to a historically and functionally related unit, such as a courthouse and jail, or a house and barn.

Structure. The term "structure" is used to distinguish from buildings those functional constructs made usually for purposes other than creating shelter.

Object. The term "object" is used to distinguish from buildings and structures those constructions that are primarily artistic in nature or are relatively small in scale and simply constructed. Although it may be, by nature or design, movable, an object is associated with a specific setting or environment.

District. A district possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.

Significance Criteria

When a project might affect a historical resource, the project proponent is required to conduct an assessment to determine whether the effect may be one that is significant. Consequently, it is necessary to determine the importance of cultural resources that could be affected. The importance of a historical property is measured in terms of criteria for inclusion on the California Register of Historical Resources (Public Resources Code Section 5024.1, Title 14 CCR, § 4850.3) listed below. A resource may be important if it meets any one of the criteria below, or if it is already listed on the California Register of Historical Resources or a local register of historical resources.

An important historical resource is one which:

- A. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- B. Is associated with the lives of persons important in our past.
- C. Embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- D. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, the OHP advocates that all historical resources over 45 years old be recorded for inclusion in the OHP filing system (OHP 1995:2), although professional judgement is urged in determining whether a resource warrants documentation.

PROJECT SETTING

Study Location and Description

The study area is located in northwest Sonoma County, approximately one mile north of the intersection of Highway 1 and Timber Cove Road, as is shown on the Plantation 7.5' USGS quadrangle (Figure 2). It consists of two contiguous lots on the northwest side of Ruoff Drive totaling about 2.58 acres of land. The study area is on a small ridge, and the terrain is relatively gentle except at the west corner where the parcel slopes steeply to a seasonal creek. This unnamed stream flows to the southwest along the northwestern edge of the study area, eventually emptying into the Pacific Ocean at Stillwater Cove. Schoolhouse Creek, another seasonal stream, is about 400 feet south of the study area, on the opposite side of the ridge.

Soils of the parcel and the surrounding area are of the Mendocino-Empire complex (Miller 1972:64). These clay-rich soils are found on uplands and terraces above the coastal terrace, and

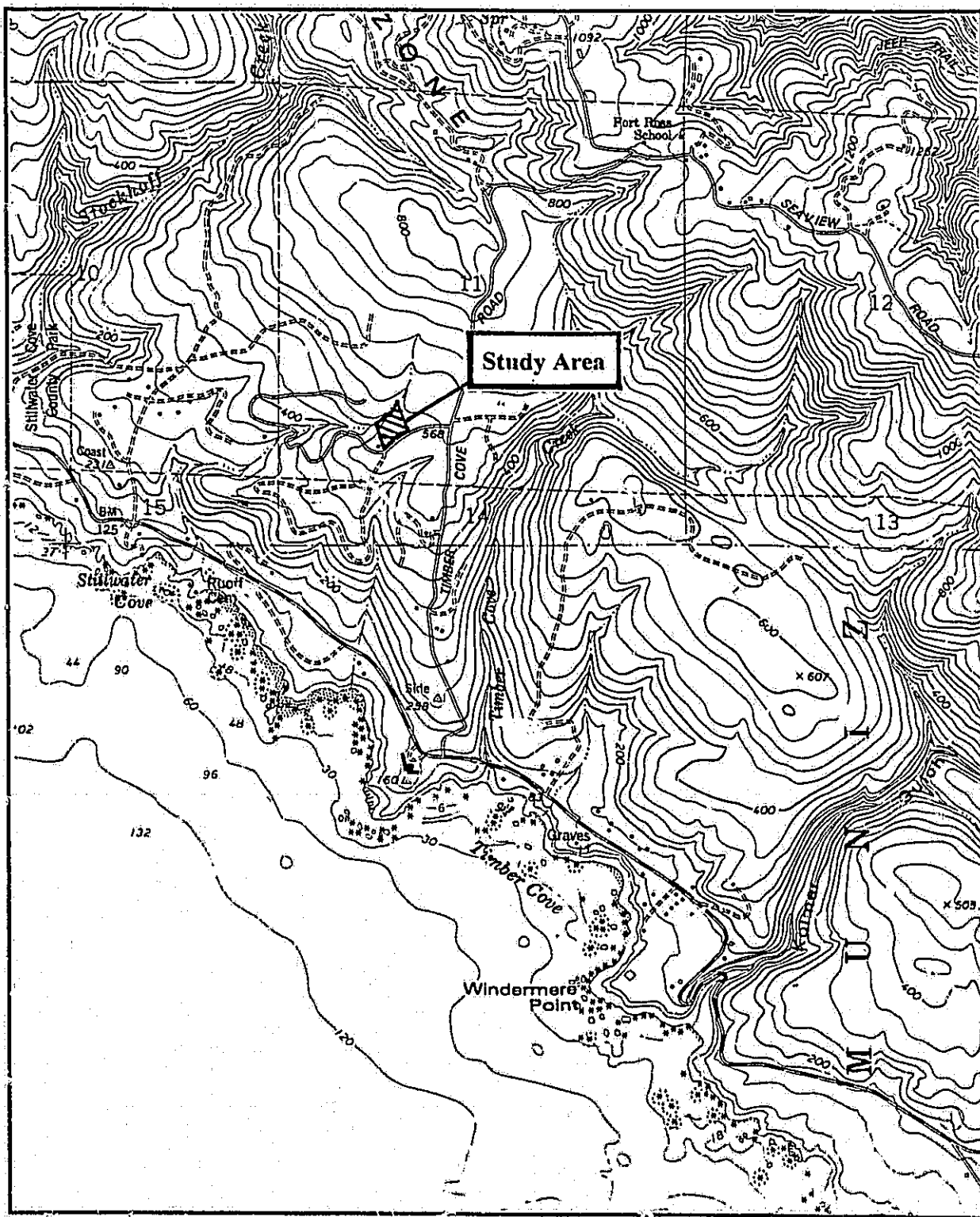


Figure 2. Study location (*Plantation, California 7.5' topographic quadrangle, USGS 1977*).

support mixed-evergreen forests. Redwood, Douglas fir, and tan oak trees dominate the study area's overstory, and there is relatively little undergrowth. The property was logged, historically and several large stumps are present. Other modifications to the parcel include construction of a small building, clearing and grading, and trenching for water lines.

Cultural Setting

Archaeological evidence indicates that human occupation of California probably began about 12,000 years ago (Fredrickson 1984:506). Early occupants appear to have had an economy based largely on hunting, with limited exchange, and social structures based on extended family units. Later, milling technology and an inferred acorn economy were introduced. This diversification of economy appears coeval with the development of sedentism, population growth and expansion. Sociopolitical complexity and status distinctions based on wealth are also observable in the archaeological record, as evidenced by an increased range and distribution of trade goods (e.g. shell beads, obsidian tool stone), which are possible indicators of both status and increasingly complex exchange systems.

At the time of European settlement, the study area was included in the territory controlled by the Kashaya Pomo (McLendon and Oswalt 1978). The Pomo were hunter-gatherers in a rich environment that allowed for dense populations. They settled in large, permanent villages about which were distributed seasonal camps and task-specific sites. Primary villages were inhabited throughout the year while other sites were visited seasonally to obtain particular resources. Sites were often established near freshwater sources and at ecotones where plant and animal life was diverse and abundant. Barrett (1908) places two Kashaya villages on the coast at Timber Cove, and describes the ethnographic village of *tciti 'bidakali* as being "at a point about three-quarters of a mile north of the old village of *su'lmewi*. at Timber Cove" (Barrett 1908:230). More information about the Pomo is available from the references cited above along with Kniffen 1939 and Kroeber 1925.

Historically, the study area is situated on public lands, between the southern end of the Rancho German landgrants made to Ernest Rufus in 1846, and the northern end of the Rancho Muniz granted to Manuel Torres in 1845 (Hoover et al. 1966). The Russian settlement at Fort Ross was the early center of historical activities, however, preceding both Mexican grants by many years. While the Russians focused primarily on fur trapping, timber became the economic focus in subsequent decades. Several coastal communities developed as a result of logging activities including the community of Timber Cove. Bower's 1867 county map shows several sawmills, cabins, and homesteads in the general area. In 1877, the study area was part of a larger tract of land belonging to William Thomas (Thompson 1877). John Ruoff later held about 300 acres of land in the area including the study parcels (Reynolds and Proctor 1898).

STUDY PROCEDURES

Archival Research

Archival research included examination of the library and project files at Tom Origer & Associates, and the archaeological site base maps and records, survey reports, and other materials on file at the Northwest Information Center (NWIC), Sonoma State University. Sources of information included but were not limited to: current listings of properties on the National Register of Historic Places; California Historical Landmarks (OHP 1990); California Inventory of Historic Resources (DPR 1976); and Historic Properties Directory (OHP 1998). In addition, ethnographic literature, county histories, and other primary and secondary sources were reviewed. All sources are listed in the "Materials Consulted" section of this report.

Because OHP has determined that structures in excess of 45 years of age should be considered to be potentially important resources, and former building and structure locations could be potentially important historic archaeological sites, archival research included an examination of historical maps to gain insight into the nature and extent of historical development in the general vicinity, and especially within the study area. Maps ranged from hand-drawn maps of the 1800s (Bowers 1867; General Land Office [GLO] 1871; United States Coast Survey [USCS] 1876; Thompson 1877; Reynolds and Proctor 1898), to topographic quadrangles issued by the United States Geological Survey (1943, 1944).

Field Survey

Field inspection was completed on May 18, 1999, by the author who holds a Master's degree in Cultural Resources Management and has 12 years of experience dealing with prehistoric and historic resources in California. The parcel was divided into corridors approximately 60 feet wide and each corridor was walked in a zigzagging fashion to insure that the entire surface was examined. At the western corner of the parcel, the land slopes steeply to the creek, and this area was given cursory examination. Visibility of the ground surface was generally very good. Recent grading in some areas provided excellent surface visibility, and subsoils were revealed in open waterline trenches. In areas obscured by vegetation and duff, a hoe was used to clear small patches so that the soil could be inspected.

Based on the results of archival research, it was anticipated that prehistoric archaeological sites would be found within the study area. Prehistoric archaeological site indicators expected to be found in the region include but are not limited to: obsidian and chert flakes and chipped stone tools; grinding and mashing implements such as slabs and handstones, and mortars and pestles; bedrock outcrops and boulders with mortar cups; and locally darkened midden soils containing some of the previously listed items plus fragments of bone, shellfish, and fire affected stones. Historic period remains, though not likely, could include: fragments of glass, ceramic, and metal objects; milled and split lumber; old trails; and structure and feature remains such as building foundations and dumps, respectively.

STUDY FINDINGS

Archival Results

Archival research found that there were no known cultural resources within or near the study area, and no record of a previous cultural resources study for the parcels. Peak & Associates (1986) conducted an archaeological survey that included a corridor along Ruoff Drive for a water system rehabilitation project. A small part of the study area may have been surveyed at that time.

A review of ethnographic literature and maps found several Kashaya Pomo sites in the general area. Ethnographer, Samuel Barrett discusses three "old village sites" at or near Timber Cove: the village of *oto'noe* "on the southeastern shore of Timber Cove and near Folmer [sic] Gulch," *su'lmewi* "on the north shore of Timber Cove," and *tciti'bidakali* "at a point about three-quarters of a mile north of the old village of *su'lmewi*, at Timber Cove" (Barrett 1908:230). Taken literally, Barrett's description of the location of *tciti'bidakali* places it inland, and near the current study area; however, Barrett plots the village on the coast, northwest of Timber Cove and well away from the study area. Moreover, surveyors for the U.S. Coast Survey attached Kashaya village names to locations along the coast (USCS 1876), including Otono Cove, Súlmevi, and Chitibida Creek. The first two coincide with Barrett's locations for their village namesakes. "Chitibida" is likely a misinterpretation of the Kashaya village name of *tciti'bidakai*. The coast survey map shows the mouth of Chitibida Creek on the coast, south of Stillwater Cove, three-quarters of a mile from Timber Cove, further supporting placement of the village along the coast rather than inland near the study area.

Examination of historical maps found no buildings, structures, or other features plotted within the study area (Bowers 1867; GLO 1871; Thompson 1877; Reynolds and Proctor 1898; USGS 1943, 1944). Although the documents listed above show no known cultural resources within the study area, information taken from maps and reports on file at the NWIC and the offices of Tom Origer & Associates indicates that the region has the potential to contain archaeological resources.

Archaeology and the Built Environment

No prehistoric or historic-period archaeological deposits were identified during the study. There are no historical buildings or structures within the study area. The one small building on the parcel was constructed recently.

RECOMMENDATIONS

Archaeology and the Built Environment

No prehistoric or historic archaeological sites or features were identified during the study. The building on the property is a modern building and does not meet CEQA criteria as an important historical resource. No specific recommendations are warranted.

Accidental Discovery

There is the possibility that buried archaeological deposits could be present, and accidental discovery could occur. If archaeological remains are uncovered, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds. Prehistoric archaeological site indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements such as slabs and handstones, and mortars and pestles; bedrock outcrops and boulders with mortar cups; and locally darkened midden soils containing some of the previously listed items plus fragments of bone and fire affected stones. Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; old trails; and structure and feature remains such as building foundations and dumps, respectively.

SUMMARY

This cultural resources study was completed for two parcels situated north of Timber Cove in northwest Sonoma County. The parcels total about 2.58 acres of land and are located at 22087 and 22093 Ruoff Drive. Property owner, Willard Reed requested the study in order to satisfy a Sonoma County Planning Department permit requirement to construct a single-family dwelling and a detached garage on one of the two parcels. This study consisted of archival research and intensive survey of the property. In sum, no resources were found, and no site-specific recommendations are offered.

MATERIALS CONSULTED

Barrett, S.

1908 *The Ethno-Geography of the Pomo and Neighboring Indians. University of California Publications in American Archaeology and Ethnology* 6(1):1-322. University of California Press, Berkeley

Bowers, A.

1867 *Map of Sonoma County, California.* Second Edition. A.B. Bowers.

Flynn, K.

1994 *A Cultural Evaluation of the Parcel Located at 22076 Frost Court, Timber Cove, Sonoma County, CA.* Report S-148'73 on file at the Northwest Information Center, Rohnert Park.

Fredrickson, D.

1984 *The North Coastal Region.* In *California Archaeology*, edited by M. Moratto, Academic Press, San Francisco.

General Land Office (GLO)

1871 *Survey plat for T8N/R13W, MDBM*. Bureau of Land Management, Washington, D.C.

Hoover, M., H. Rensch, E. Rensch, and W. Abeloe

1966 *Historical Spots in California*. Stanford University Press. 3rd edition. Stanford.

Hoover, M., H. Rensch, E. Rensch, W. Abeloe, and D. Kyle

1990 *Historical Spots in California*. Stanford University Press. 4th edition. Stanford.

Kniffen, F.

1939 Pomo Geography. *University of California Publications in American Archaeology and Ethnology*, Vol. 36. Berkeley.

Kroeber, A.

1925 *Handbook of the Indians of California*. Bureau of American Ethnology, Bulletin 78, Smithsonian Institution, Washington, D.C. (Reprint by Dover Publications, Inc., New York, 1976).

McLendon, S. and R. Oswalt

1978 Pomo: Introduction. In *Handbook of North American Indians, vol. 8 California*, edited by R.F. Heizer, pp. 274-288, W.C. Sturtevant, general editor. Smithsonian Institution, Washington, D.C.

Meighan, C.

1955 Archaeology of the North Coast Ranges, California. *Reports of the University of California Archaeological Survey No. 30*. University of California, Berkeley.

Miller, V.

1972 *Soil Survey of Sonoma County, California*. U.S. Department of Agriculture in cooperation with the University of California Agricultural Experiment Station.

Moratto, M.

1984 *California Archaeology*. Academic Press, San Francisco.

Origer, T.

1994 *A Cultural Resources Survey for the Proposed Timber Cove Reservoir Project, Timber Cove, Sonoma County, California*. Report S-15769 on file at the Northwest Information Center, Rohnert Park.

Peak & Associates, Inc.

1986 *Cultural Resources Assessment of the Proposed Timber Cove Water System Rehabilitation Project, Sonoma County, California*. Report S-7883 on file at the Northwest Information Center, Rohnert Park.

Reynolds, W. and T. Proctor

1898 *Illustrated Atlas of Sonoma County, California*. Reynolds and Proctor, Santa Rosa.

Sonoma County Planning Department

1984 *Sonoma County Landmarks*. Sonoma County Planning Department, Santa Rosa.

State of California Department of Parks and Recreation (DPR)

1976 *California Inventor, of Historic Resources*. DPR, Sacramento.

State of California Office of Historic Preservation (OHP)

1986 *Point of Historical Interest Log*. OHP, Sacramento.

1990 *California Historical Landmarks*. OHP, Sacramento.

1995 *Instructions for Recording Historical Resources*. OHP, Sacramento.

1998 *Historic Properties Directory*. Listing by City (through March 1999). OHP, Sacramento.

Thompson, T.H. & Co.

1877 *Historical Atlas Map of Sonoma County, California*. T.H. Thompson & Co., Oakland, California.

United States Coast Survey (USCS)

1876 *Fort Ross to Salt Point including Timber Cove and Stillwater Cove Landings, Sonoma County, California*. Register No. 1457. National Archives, Washington, D.C.

United States Geological Survey (USGS)

1943 *Plantation, California*. 7.5-minute topographic quadrangle. USGS, Washington, D.C.

1943 *Plantation, California*. 7.5-minute topographic quadrangle. USGS, Washington, D.C.

1970 *Santa Rosa, California*. 1:250,000-scale map. USGS, Washington, D.C.

1977 *Plantation, California*. 7.5-minute topographic quadrangle. USGS, Washington, D.C.

COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403

(707) 527-1900 FAX (707) 527-1103

Field Operations Code Enforcement Permits Environmental & Comprehensive Planning

Mar 05, 1999

REED WILLARD G
351 N 9TH ST
SAN JOSE CA

951123348

Re: Coastal Perm NO Hearing / CPN99-0001 / 22093 RUOFF DR TIM

Dear Applicant,

Thank you for your application. In an effort to continue to improve service to you a new program has been implemented by the Permit and Resource Management Department. I am your project coordinator. My job is to keep track of the PRMD'S processing of your application to assure it is completed in a timely manner. I will be your primary contact person and available to answer questions and assist you. My phone number is 527-2138. When calling or leaving voice mail always refer to your project's identification number which is CPN99-0001. Unless directed otherwise below, I will assume that you will act as the single contact for this application. To expedite the process and maximize efficient communication, I request the following from you:

1. Please review the following information pertaining to the contact for this application, make any corrections or additions necessary, and direct all communication to this office through this individual.

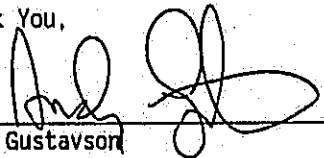
Contact Name: REED WILLARD G
Phone: 408 748 1814
Fax:
Address: 351 N 9TH ST
SAN JOSE CA

951123348

2. Please notify me if the application contact changes or if there are any changes in the project, the project team, or the project documents, plans, reports, etc.
3. Please understand that additional items may be required to complete your project. A prompt turn around of these items enables our timely processing of your project.
4. Please remember, the applicant retains full responsibility for project management. I will assist the application contact in tracking the project's time schedule and monitoring the project and status of related permits and clearances. If special conditions are placed on a project, it is the applicants responsibility to meet these conditions.

I will be available to clarify any item or information on your project. I look forward to working with you. Do not hesitate to contact me if you have any questions.

Thank You,



Andy Gustavson
Project Coordinator

CC: Property Owner (if other than applicant)
(introltr) B-CPN 9801



COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 565-1900 FAX (707) 565-1103

To: Interested Agencies

April 1, 1999

The following application has been filed with the Sonoma County Permit and Resource Management Department.

CPN99-0001

Willard G. Reed

22093 Ruoff Dr, TIM

A.P.N. 109-410-037

A request for a Coastal Permit to construct a single family dwelling, a two-story structure and a detached two-car garage located on a 1.2 acre parcel east of and not visible from Highway 1.

We are submitting the above application for your review and recommendation. Additional information is on file in this office.

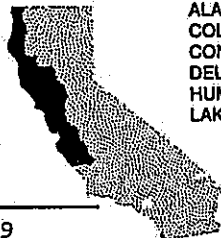
Responses to referrals should include: (1) statement of any environmental concerns or uncertainties your agency may have with the project; (2) any comments you wish to make regarding the merits of the project; and (3) your proposed conditions and mitigations for this project. Responsible agencies under CEQA are requested to indicate whether permits will be required for this project.

Your comments will be appreciated by **April 15, 1999** and should be sent to the attention of **CPN99-0001, Andy Gustavson.**

If no reply is received by the above mentioned date, it will be assumed that your agency has no concern on the environmental aspect of the project. Please send a copy of your comments to the applicant(s) or their representatives.

- | | |
|---|--|
| <input type="checkbox"/> County Surveyor | <input checked="" type="checkbox"/> Fire District - Timber Cove |
| <input checked="" type="checkbox"/> Well & Septic | <input type="checkbox"/> School District - |
| <input type="checkbox"/> E/H Consumer Prot. - Bob Herr | <input type="checkbox"/> Santa Rosa School District |
| <input type="checkbox"/> Sanitation | <input type="checkbox"/> Water District - |
| <input checked="" type="checkbox"/> Land Development/Road | <input type="checkbox"/> State Coastal Commission |
| <input checked="" type="checkbox"/> Public Works/Road - John Kottage | <input type="checkbox"/> Caltrans (State) |
| <input type="checkbox"/> Ag Commissioner | <input checked="" type="checkbox"/> State Fish & Game |
| <input checked="" type="checkbox"/> Flood & Drainage Review | <input type="checkbox"/> State Department of Forestry |
| <input type="checkbox"/> PRAC Planner | <input type="checkbox"/> State Department of Health |
| <input type="checkbox"/> General Plan Staff | <input type="checkbox"/> State Parks and Recreation |
| <input checked="" type="checkbox"/> Northwest Information Center, S.S.U. | <input type="checkbox"/> Regional Water Quality Control |
| <input checked="" type="checkbox"/> Betty Guggolz, Native Plant Society | <input type="checkbox"/> Regional Air Pollution Control |
| <input type="checkbox"/> Public Works - Transit | <input type="checkbox"/> Regional Parks Department |
| <input checked="" type="checkbox"/> Building Inspection | <input type="checkbox"/> City of _____ Dupt. |
| <input type="checkbox"/> Army Corps of Engineers | <input type="checkbox"/> Alcohol Beverage Control |
| <input type="checkbox"/> P.G. & E. | <input type="checkbox"/> Treasurer/Special Assessment |
| <input type="checkbox"/> Pacific Bell | <input type="checkbox"/> Assessor |
| <input type="checkbox"/> Sheriff - Crime Prevention | <input type="checkbox"/> Farm/Home Advisor U.C.C.E. - Rick Bennett |
| <input type="checkbox"/> LAFCO | <input type="checkbox"/> Landmarks Commission |
| <input type="checkbox"/> ALUC | <input checked="" type="checkbox"/> Other: Timber Cove Homes Association |
| <input checked="" type="checkbox"/> Board of Supervisors - Supervisor Mike Reilly | <input type="checkbox"/> Other: |
| <input type="checkbox"/> County Communications - Joe Perez | |
| <input checked="" type="checkbox"/> Fire Marshal | |

CALIFORNIA
HISTORICAL
RESOURCES
INFORMATION
SYSTEM



ALAMEDA
COLUSA
CONTRA COSTA
DEL NORTE
HUMBOLDT
LAKE

MARIN
MENDOCINO
MONTEREY
NAPA
SAN BENITO
SAN FRANCISCO

SAN MATEO
SANTA CLARA
SANTA CRUZ
SQLANO
SONOMA
YOLO

Northwest Information Center
Sonoma State University
1801 East Cotati Avenue
Rohnert Park, California 94928-3609
Tel: 707.664.2494 • Fax: 707.664.3947
E-mail: nwic@sonoma.edu

21 April 1999

File No.: 99-S0-57

Andy Gustavson, Planner
County of Sonoma
Permit and Resource Management Dept.
Planning Division
2550 Ventura Avenue
Santa Rosa CA 95403

re: CPN99-0001, APN 109-410-037, 22093 Ruoff, Jenner

Dear Mr. Gustavson:

Records at this office were reviewed to determine if this project could adversely affect historical resources. The review for possible historic buildings, however, was limited to references currently in our office. Please note that use of the term historical resources includes both archaeological sites and historic buildings.

_____ The proposed project area contains or is adjacent to the archaeological site(s) (_____). A study is recommended prior to commencement of project activities.

XX The proposed project area has the possibility of containing unrecorded archaeological site(s) in the unsurveyed portions of the project area. A study of those unsurveyed portions is recommended prior to commencement of project activities.

_____ The proposed project area contains a listed historic structure (_____). See recommendations in the comment section below.

_____ Study # _____ identified one or more historical resources. The recommendations from the report are enclosed.

XX Study #7883 covering approximately 30% of the project area identified no historical resources. Further study for historical resources in those portions already surveyed is not recommended.

_____ There is a low possibility of historical resources. Further study for historical resources is not recommended.

XX The guidelines for implementation of the California Register of Historical (Cal Register) criteria for evaluation of historical properties have been developed by the State Office of Historic Preservation. For purposes of CEQA, all identified archaeological sites should be evaluated using the Cal Register criteria.

XX Our review is based on scientific information. In addition we recommend you contact the local tribe(s) regarding traditional, cultural and religious values.

_____ Comments:

RECEIVED

APR 23 1999

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT
COUNTY OF SONOMA

If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 664-2494.

Sincerely,

L. Jordan
Leigh Jordan
Coordinator

PROJECT DEVELOPMENT CONDITIONS

FROM
TRANSPORTATION AND PUBLIC WORKS

DATE: April 20, 1999

FILE NUMBER: CPN 99-0001

APPLICANT: Willard Reed

ADDRESS: 22093 Ruoff Drive., Timber Cove

A.P.N.: 109-410-037

PLANNER: Andy Gustavson

CONDITIONS FROM Charlie Ozanich, 565-3628

CONDITIONS: NO CONDITIONS
 PLEASE ADD ATTACHED CONDITION(S)
 PLEASE ADD CONDITION(S) LISTED BELOW

XX The Sonoma County Department of Transportation and Public Works may modify these conditions if the Applicant can demonstrate that the conditions are infeasible due to unforeseen field constraints or lack of property rights and that the goals of these conditions can be safely achieved in some other manner. However, the threshold for any modification is high and therefore modification of conditions is not common.

equals 40 feet, and shall be submitted on 24 inch by 36 inch sheets for review. The Plans shall include roadway cross-sections, at a maximum interval between cross-sections of 50 feet.

57. Plan checking fees and inspection fees, including those involving off-site frontage improvements, shall be paid to the Permit and Resource Management Department, prior to signature of the Improvement Plans by the Director of the Department of Transportation and Public Works.

58. A development fee (Traffic Mitigation Fee) shall be paid to the Permit and Resource Management Department, as required by Sections 26-98-⁶⁰⁰ through 26-98-⁶⁵⁰ inclusive, of the Sonoma County Code, before issuance of any building permit(s) associated with this application.

59. Prior to approval of this application, a development fee (Traffic Mitigation Fee) shall be paid to the Permit and Resource Management Department, as required by Sections 26-98-__ through 26-98-__, inclusive, of the Sonoma County Code.

60. Note on Map: New residential construction, on the parcels associated with this approval, is subject to payment of a development fee (Traffic Mitigation Fee) to the Permit and Resource Management Department, as required by Sections 26-98-__ through 26-98-__, inclusive, of the Sonoma County Code.

61. The Developer/Applicant shall submit improvement plans for all required improvements to the Permit and Resource Management Department for review and approval. Prior to the issuance of any Grading, Building or Encroachment permits, the Improvement Plans shall be signed by the Director of the Department of Transportation and Public Works.

62. Prior to construction of any improvements that are to be made within County Road Right-of-way, the Developer/Applicant must obtain an Encroachment Permit from the Permit and Resource Management Department.

63. Prior to the filing of the (Final/Parcel) Map, the Developer/Applicant shall either:

a) complete construction of the required improvements. If the required construction is completed prior to filing of the subdivision map, the Developer/Applicant shall enter into an Improvement Maintenance Agreement and post security with the County of Sonoma, to guarantee the improvements for a period of one (1) year,

or,

b) enter into an Improvement Agreement and post acceptable security with the County of Sonoma, agreeing to complete the required construction within the 24 month period following filing of the (Final/Parcel) Map. Included in this Improvement Agreement shall be a requirement that the Developer/Applicant enter into an Improvement Maintenance Agreement and post security with the County of Sonoma, to guarantee the improvements for a period of one (1) year after acceptance of the improvements as being complete, by the County of Sonoma.

64. Prior to occupancy of any new building or new use of an existing building(s) which result from this application, the Developer/Applicant shall complete construction of all the required public improvements. (In certain cases where there will be a significant impact on safety, the security option is not available. Completion of the improvements shall be required before occupancy is granted.)

65. The Developer/Applicant shall complete construction of all the required public improvements or enter into an Improvement Agreement and post acceptable security with the County of Sonoma, agreeing to complete the required construction within the 24 month period following the approval of the Application for this project. Included in this Improvement Agreement shall be a requirement that the Developer/Applicant enter into an Improvement Maintenance Agreement and post security with the County of Sonoma, to guarantee the improvements for a period of one (1) year after acceptance of the improvements as being complete by the County.

66. The Developer/Applicant shall ____.

USE PERMIT CONDITIONS

DATE: 4-14-99
 TO: Permit and Resource Management Department, Project Review Section, Planning
 ATTN: Andy Lawtonson
 FROM: Nancy Lingafeldt, R.E.H.S., Project Review Section, Health
 PROJECT TYPE: Coastal Permit
 SUBJECT: Project Address: 22093 Ruff Drive, Timber Cove.
 Project#: CPN 99-1001
 Name: Willard W. Reed
 AP#: 109-110-037
 Purpose: Request for a Coastal Permit to construct a single family residence on 1.2 acres.

The application has been reviewed by this Division (see x1 through x4).

- x1) If the application is approved, it is recommended it be subject to the following circled conditions: (See Below)
- x2) Further information is needed before we can respond to the project.

FOR MARGINAL AND WATER SCARCE AREAS ZONE 3 AND ZONE 4:

A geological report prepared by a Registered Geologist, addressing Water Availability according to the General Plan requirements of RC-3h shall be submitted to the Project Review - Health Specialist prior to the discretionary decision.

- x3) We can see no environmental health reason to deny this request.
- x4) We recommend denial for the following reasons:

Conditions:

- ① The applicant shall submit septic system designs for approval and obtain a septic system permit prior to issuance of building permits for construction.
- ② A letter from the water district allowing connection to the system shall be submitted to Project Review Health prior to building permit issuance.

If questions, call Nancy Lingafeldt, 527-1683 M-F.

cc: Dave Donovan
 Applicant



COUNTY OF SONOMA
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 565-1900 FAX (707) 565-1103

May 3, 1999

Willard Reed
351 N. 9th Street
San Jose CA 95112 3348

Re: CPN 99-0001, 22093 Ruoff Drive, Jenner CA (TIM)

The Sonoma County Permit and Resource Management Department is required by the California Environmental Quality Act to prepare an "initial study" on the environmental effects of your proposed project. As part of this initial study, your application has been referred to the anthropology laboratory at Sonoma State University to determine if your project may result in the damage or destruction of any significant archaeological remains.

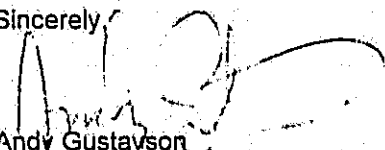
The anthropology laboratory at Sonoma State University has been designated by the state as the Northwest Information Center of the California Archaeological Site Inventory. The laboratory maintains records of all known sites in the county. On the basis of these records and an analysis of the potential for use of your parcel by prehistoric populations, the laboratory has concluded that the parcel may contain significant archaeological remains.

The Sonoma County Permit and Resource Management Department has determined that an on-site archaeological survey is required to determine if any significant sites are located on your parcel, and if so, how they might be protected.

Arrangements can be made with any of the several qualified professional archaeologists listed on the attached sheet to undertake such an on-site survey. The archaeologist of your choice should provide report copies to this office and to the Northwest Information Center, California Archaeological Site Inventory, Department of Anthropology, Sonoma State University, 1801 East Cotati Avenue, Rohnert Park CA 94928. If you have technical questions about the requirement for this study, you can contact the Northwest Information Center directly at (707) 664-2494.

As soon as we receive the necessary report, we will proceed with the processing of your project application. If you have any questions regarding this matter or your project application, please contact me at (707) 527-2138.

Sincerely,



Andy Gustavson
Project Planner

Attachment

AG:at

c: CPN 99-0001



COUNTY OF SONOMA
DEPARTMENT OF EMERGENCY SERVICES
FIRE SERVICES • EMERGENCY MANAGEMENT • HAZARDOUS MATERIALS

RECEIVED

MAY 12 1999

PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT

TO: ANDY GUSTAVSON, P.R.M.D.
FROM: JACK ROSEVEAR, FIRE MARSHAL
DATE: MAY 6, 1999
RE: CPN 99-0001 22093 RUOFF DR. TIMBER COVE

Willard Reed
351 No. Ninth St.
San Jose, Ca. 95112

After review of the referenced project transmittal, the following fire protection requirements apply:

1. **Note on Final Map/Plan:** Prior to Building Permit issuance, a fire safety plan shall be reviewed and approved by the County Fire Marshal and/or local fire protection district. Said plan shall include, but not be limited to, emergency vehicle access and turn-around at the building site, addressing, water storage for fire fighting, and fire-break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to the Permit and Resource Management Department from the County Fire Marshal and/or the local fire protection district.

2. **Driveways** - All driveways to have a minimum traffic lane of 10 feet in width and 15 feet in vertical clearance. Driveways over 150 feet shall be provided with a turnout at mid-point and turnaround at each building. Driveways shall provide access within 150 feet of all portions of the exterior of the building. All driveways shall have a minimum live load capacity of HS20-44. Driveway slopes exceeding 5% shall be seal coated. Driveway slopes exceeding 10% shall be paved with a minimum of 2 inches of asphalt concrete. Any driveway slope over 15% is prohibited

3. **Clearance of Flammable Vegetation** - Maintain around all structures a fire break of not less than 30 feet on all sides of all flammable or combustible growth or to property line, whichever is nearer. Clearance of 50 feet shall be maintained on downhill sides.

CPN 99-0001

4. Turnaround & Turnouts - All driveway and roads in excess of 150 feet are required to have approved turnouts and turnarounds. A turnaround may be a hammerhead "T"; the top of the "T" shall be a minimum of 60 feet in length, 30 feet on either side of the center line of the driveway. If a turnaround/cul de sac is chosen, it shall have a minimum turning radius of 40 feet from the center of the roadway. Turnaround shall be within 50 feet of buildings. If a turnout is required due to the length of the driveway it shall be a minimum of 10 feet in width, 30 feet in length with a 25 foot taper on either side.

5. Emergency Water Supply - A fire hydrant shall be installed within 250 feet of the proposed residence. In the absence of a recognized public water system, a minimum supply of 2,500 gallons of water for fire fighting, must be provided on each parcel upon which a new building is to be built. The location of the fire hydrant shall be determined by the Dept. of Emergency Services.

Water shall be available from the tank through a fire department connection (2 1/2 inch gate valve with a male nipple with National Standard threads). Delivery of water shall be via a minimum 4 inch water line.

Emergency water supply shall be available previous to commencing construction.

6. Timing of Installation - All fire protection requirements such as emergency fire suppression water supply, hydrants and all surface access roads, driveways and turnouts shall be installed, made serviceable and maintained prior to, during construction and after final.

7. Property Line Setback - All building setback lines shall conform to Chapter 26 of the Sonoma County Code. Setbacks for buildings on one acre or greater shall not be less than 30 feet. All roads and driveways shall have vegetation clearance not less than 10 feet, all trees shall be 20 feet horizontally from all overhead electric lines, etc.

8. Premises Identification - All buildings shall have a postal address per the County overall system. Symbols shall be a minimum of 4 inches in height with a 3/8 inch stroke. Said numbers shall be reflectorized and on a contrasting background. Addresses shall be posted at the time of construction and to be placed at the beginning of the driveway and visible from both directions of travel. Driveways serving multiple addresses shall have each address served mounted on a single post at the beginning and at each Y or intersection in the driveway.



COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 565-1900 FAX (707) 565-1103

To: Interested Agencies

April 1, 1999

The following application has been filed with the Sonoma County Permit and Resource Management Department.

CPN99-0001
Willard G. Reed
22093 Ruoff Dr, TIM
A.P.N. 109-410-037

A request for a Coastal Permit to construct a single family dwelling, a two-story structure and a detached two-car garage located on a 1.2 acre parcel east of and not visible from Highway 1.

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- | | |
|---|--|
| <input type="checkbox"/> County Surveyor | <input checked="" type="checkbox"/> Fire District - Timber Cove |
| <input checked="" type="checkbox"/> Well & Septic | <input type="checkbox"/> School District - |
| <input type="checkbox"/> E/H Consumer Prot. - Bob Herr | <input type="checkbox"/> Santa Rosa School District |
| <input type="checkbox"/> Sanitation | <input type="checkbox"/> Water District - |
| <input checked="" type="checkbox"/> Land Development/Road | <input type="checkbox"/> State Coastal Commission |
| <input checked="" type="checkbox"/> Public Works/Road - John Kottage | <input type="checkbox"/> Caltrans (State) |
| <input type="checkbox"/> Ag Commissioner | <input checked="" type="checkbox"/> State Fish & Game |
| <input checked="" type="checkbox"/> Flood & Drainage Review | <input type="checkbox"/> State Department of Forestry |
| <input type="checkbox"/> PRAC Planner | <input type="checkbox"/> State Department of Health |
| <input type="checkbox"/> General Plan Staff | <input type="checkbox"/> State Parks and Recreation |
| <input checked="" type="checkbox"/> Northwest Information Center, S.S.U. | <input type="checkbox"/> Regional Water Quality Control |
| <input checked="" type="checkbox"/> Betty Guggolz, Native Plant Society | <input type="checkbox"/> Regional Air Pollution Control |
| <input type="checkbox"/> Public Works - Transit | <input type="checkbox"/> Regional Parks Department |
| <input checked="" type="checkbox"/> Building Inspection | <input type="checkbox"/> City of Dept. |
| <input type="checkbox"/> Army Corps of Engineers | <input type="checkbox"/> Alcohol Beverage Control |
| <input type="checkbox"/> P.G. & E. | <input type="checkbox"/> Treasurer/Special Assessment |
| <input type="checkbox"/> Pacific Bell | <input type="checkbox"/> Assessor |
| <input type="checkbox"/> Sheriff - Crime Prevention | <input type="checkbox"/> Farm/Home Advisor U.C.C.E. - Rick Bennett |
| <input type="checkbox"/> LAFCO | <input type="checkbox"/> Landmarks Commission |
| <input type="checkbox"/> ALUC | <input checked="" type="checkbox"/> Other: Timber Cove Homes Association |
| <input checked="" type="checkbox"/> Board of Supervisors - Supervisor Mike Reilly | <input type="checkbox"/> Other: |
| <input type="checkbox"/> County Communications - Joe Perez | |
| <input checked="" type="checkbox"/> Fire Marshal | |

Building Permit applications submitted
2/99. B-152452 (SFD), B-152453 (detached
Garage and B-152562 (grading). Bill
Casebeer is the planchecker for those
applications. Mike Enright 4/13/99

RECEIVED
APR 02 1999
PERMIT AND RESOURCE
MANAGEMENT DEPARTMENT...



Pending Action on a Coastal Permit No Public Hearing Required

Sonoma County Permit and Resource Management Department
2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 527-1900 FAX (707) 527-1103

Date: June 1, 1999

Planner: Andy Gustavson

For a development located within the Sonoma County Coastal Zone.

Application Filing Date:	February 23, 1999
File No:	CPN 99-0001
Applicant:	Willard Reed
Assessor's Parcel No:	109-410-037
Proposed Project Location:	22093 Ruoff Drive, Timber Cove
Zoning:	RR (Rural Residential), CC (Coastal Combining), B7 (Frozen Lot Size)
Supervisorial District:	5
Project Description:	Request for a coastal permit to construct a two-story, single family dwelling and detached two-car garage on a 1.2 acre parcel east of and not visible from Highway 1.

It is the determination of the Department that the project is categorically exempt from the provisions of the California Environmental Quality Act pursuant to the Provisions of Title 14 of the California Administrative Code, Section 15301.

Date Application Will Be Acted Upon: June 14, 1999
(14 days from mailing)

A 10 calendar day public comment period from the date of this notice allows interested persons to inform the County, in writing, of any concerns they have regarding the proposed project.

Please submit any comments by: June 10, 1999
(10 days hence)

Comments will be reviewed prior to local decision making. This project does not require a public hearing unless the administrative decision is appealed.



Notice of Final Action on a Coastal Permit

Sonoma County Permit and Resource Management Department
2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 527-1900 FAX (707) 527-1103

Date: June 22, 1999

File:	CPN 99-0001
Applicant:	Willard Reed
Address:	351 N. 9th Street
City, State, Zip:	San Jose, CA 95112
Planner:	Andy Gustavson

This notice is being distributed to the Coastal Commission and those who requested notice. The following project is located within the Coastal Zone. A project decision has been completed.

Project Description: Coastal permit to construct a two-story, single family dwelling and detached two-car garage on 1.2 acres east of and not visible from Highway 1.

Project Location: 22093 Ruoff Drive, Timber Cove

Assessor's Parcel Number: 109-410-037

APPROVED by the Permit and Resource Management Department on June 22, 1999.

Conditions of Approval:

See attached.

Findings: The project, as described in the application and as conditioned, conforms with the plans, policies, requirements and standards of the Sonoma County Coastal Program.

See attached.

Not appealable to the Coastal Commission

Conditions of Approval
CPN 99-0001/Willard Reed
Andy Gustavson

Building:

1. Applicant shall obtain all applicable permits.

Health:

2. The applicant shall submit septic system designs for approval and obtain a septic system permit prior to issuance of building permits for construction.
3. A letter from the water district allowing connection to the system shall be submitted to Project Review Health prior to building permit issuance.

Transportation and Public Works:

4. A development fee (Traffic Mitigation Fee) shall be paid to the Permit and Resource Management Department, as required by Sections 26-98-600 through 26-98-680 inclusive, of the Sonoma County Code, before issuance of any building permit(s) associated with this application.
5. The Sonoma County Department of Transportation and Public Works may modify these conditions if the applicant can demonstrate that the conditions are infeasible due to unforeseen constraints or lack of property rights and that the goals of these conditions can be safely achieved in some other manner. However, the threshold for any modification is high, and therefore modification of conditions is not common.

Planning:

6. Any proposed modification, alteration, and/or expansion of the use as described by the application submitted on February 23, 1999 and as authorized by this coastal permit shall require the prior review and approval of the Permit and Resource Management Department or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified use permit and full environmental review.
7. All utilities shall be placed underground.
8. All exterior light fixtures shall be shielded to prevent off-site light and glare. Exterior light fixtures shall not directly shine off the subject property.
9. This permit shall be subject to revocation or modification by the Permit and Resource Management Department if: (a) the Department finds that there has been non-compliance with any of the conditions or (b) the Department finds that the use for which this permit is here by granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-465.1 and 26-465.2 of the Sonoma County Code.

In any case where a zoning permit, coastal permit, use permit, or variance permit has not been used within two (2) years after the date of granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect provided, however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-465.1 of the Sonoma County Code.