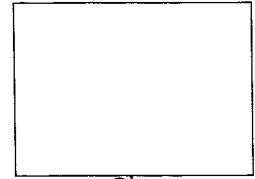


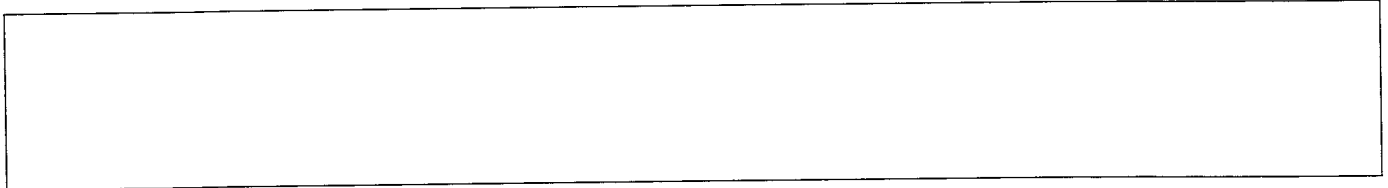
Type



Plans

**BLD17-5487**

Permit Number



Subdivision

**2018**

Street Number

**MEDANO DR**

Street Name

**SR**

Community Code

**043-400-029**

APN

PRMD County of Sonoma

**SF15129-0922**

17000

**LEGEND**

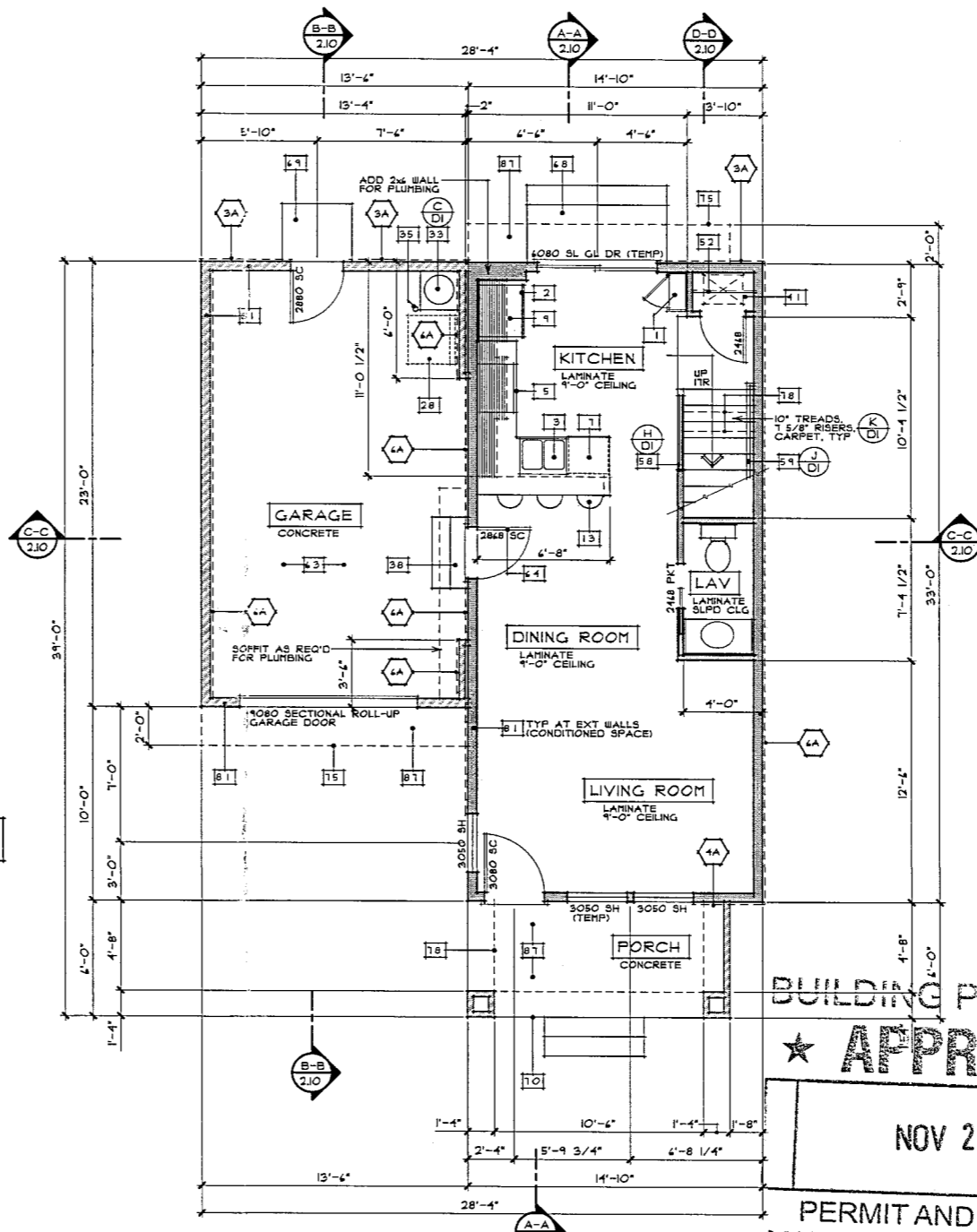
- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

1. PANTRY - 4 SHELVES.
2. PROVIDE 31" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
3. DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
5. SLIDE-IN RANGE-OVEN WITH MICROWAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
1. BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
4. LINE OF CABINETS ABOVE
15. 34" HIGH BREAKFAST BAR. (UNIT B ONLY)
17. FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE. FIBERGLASS SHOWER PAN W/12" SOLID SURFACE SURROUND. INSTALL TO COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
21. SHOWER CURTAIN ROD.
22. TEMPERED GLASS ENCLOSURE
24. MEDICINE CABINET
21. LINEN-4 SHELVES
28. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH MFR'S. SPECS. AND SECTION 908 OF THE CPC.)
33. WATER HEATER ON 18" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE W/ VENT AND DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE & SECTION 408.3 OF THE CPC. (REFER TO ENERGY COMPLIANCE REPORT).)
35. 3" DIAMETER CONCRETE FILLED STEEL PIPE.
38. CONCRETE STEPS (NO STEPS AT UNIT A1).
39. FAN IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 1 & SECTION 301.3 OF THE CALIF. MECH. CODE & MFR. SPECS.) (REFER TO ENERGY COMPLIANCE REPORT).
40. DUCT SPACE
41. 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL
42. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL. DIRECTION MAY VARY PER ELEVATION.
52. SINGLE POLE AND SHELF.
54. DOUBLE POLE AND SHELF.
51. LINE OF CARPET TO HARD SURFACE.
58. GUARDRAIL. 42" MINIMUM HEIGHT (U.O.N.) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
59. HANDRAIL (HEIGHT: 34" MIN TO 38" MAX) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
43. 1/2" GYP BOARD AT WALLS, 5/8" TYPE "X" GYP BOARD AT CEILING AT GARAGE. WRAP BEAMS & POSTS. TYPICAL.
44. SELF-CLOSING 1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
48. CONCRETE STOOP AND STEP.
49. CONCRETE STOOP
10. CONCRETE PORCH AND STEPS (WHERE OCCUR).
15. LINE OF FLOOR ABOVE.
16. LINE OF FLOOR BELOW.
18. LINE OF CEILING CHANGE.
81. 2 x 4 STUDS @ 16" OC WALL.
81. 5/8" ACX PLYWOOD (ELEV "A" AND "C") OR STUCCO (ELEV "B") SOFFIT.

**B2 GARAGE END UNIT**  
 SCALE: 1/4" = 1'-0"

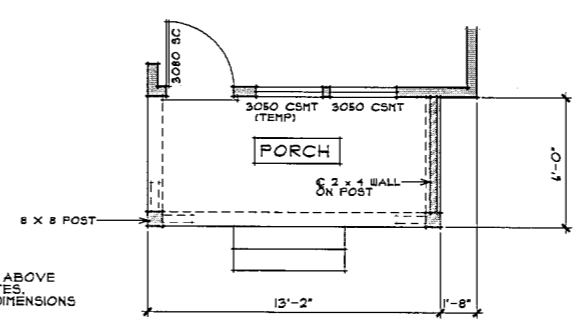
SEE UNIT B1 FOR TYPICAL NOTES, MATERIALS, AND DIMENSIONS NOT SHOW HERE.



BUILDING PLAN CHECK  
 ★ APPROVED ★  
 NOV 26 2017

PERMIT AND RESOURCE  
 MANAGEMENT DEPARTMENT

**B1 LOWER FLOOR PLAN, ELEV A & C**  
 SCALE: 1/4" = 1'-0"



NOTE:  
 SEE FLOOR PLAN ABOVE FOR TYPICAL NOTES, MATERIALS AND DIMENSIONS NOT SHOWN HERE

**B1 LOWER FLOOR PLAN, ELEV B**  
 SCALE: 1/4" = 1'-0"

*B0017-5490*  
*File Copy*

LOWER FLOOR LIVING AREA = APPROX 490 SQ FT  
 UPPER FLOOR LIVING AREA = APPROX 801 SQ FT  
 TOTAL LIVING AREA = APPROX 1291 SQ FT  
 GARAGE AREA = APPROX 310 SQ FT

HYBRIDCORE HOME - 19036-HCH  
 FACTORY BUILT BY FLEETWOOD HOMES

RADCO  
 APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 15, Part 6 and the regulations adopted pursuant thereto.

Approvals herein does not authorize or approve any commission of deviation from State laws or valid local ordinances, nor is it applicable to movement of units over highways, county roads or city streets.

Foundation Design is not approved.

Occupancy: Residential, Wind Exp: Seismic Cat: 2, 10, 110 mph C, E

Plan Approval No. RAD-31-1022

By: Christopher Sesma  
 Approved Date: 9/27/2015  
 Expiration Date: 7/9/2018

3rd PARTY APPROVAL STAMP



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 Santa Rosa, CA 95401  
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 FAX: 707.578.2848  
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 & ASSOCIATES INC.  
 ARCHITECTURE - PLANNING

PASEO VISTA  
 1960 & 2290 DUTTON AVENUE  
 SANTA ROSA, CALIFORNIA

DESIGN FOR  
 SHEET MODEL  
**13036-HCH**  
 2.1

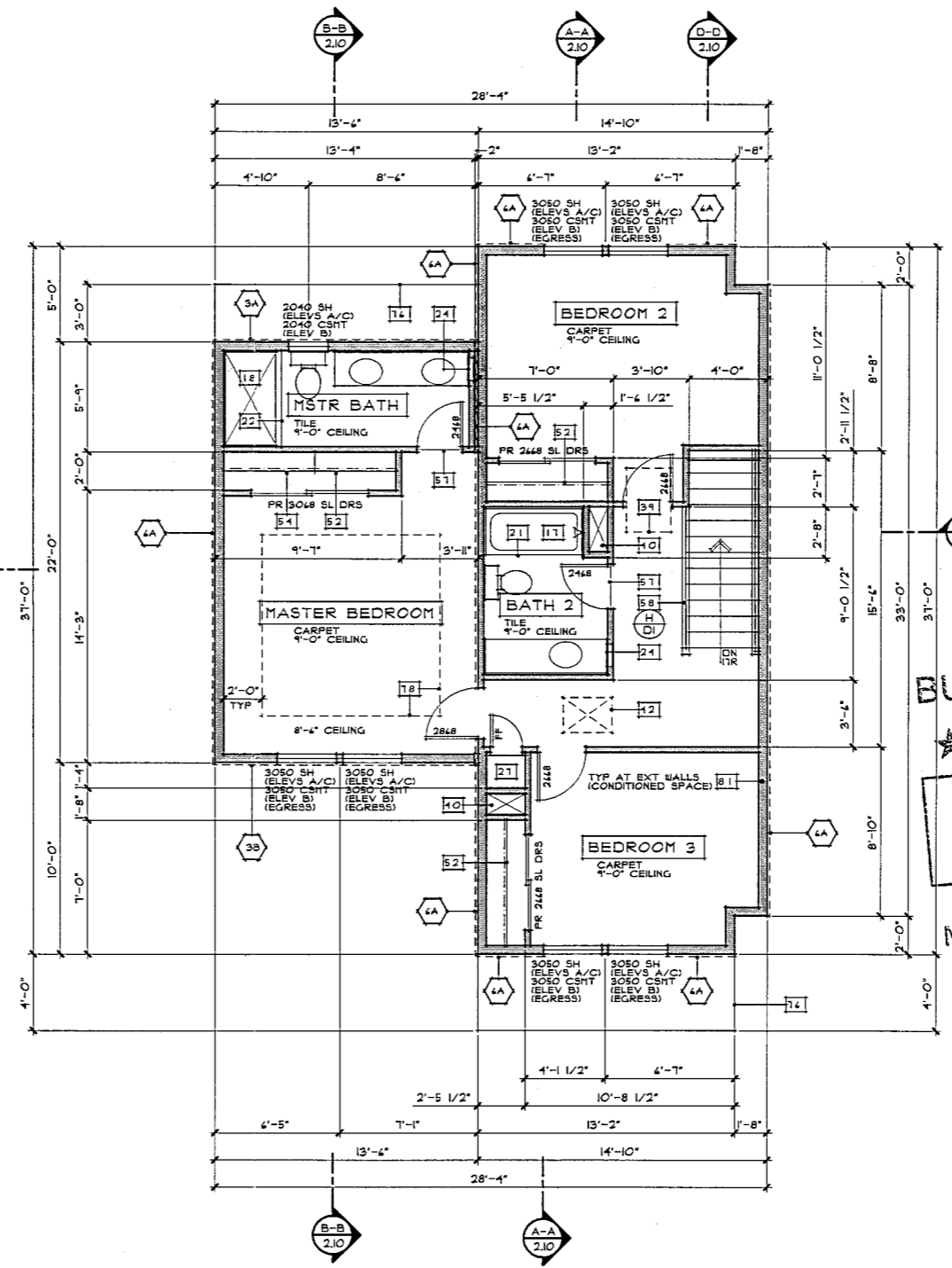
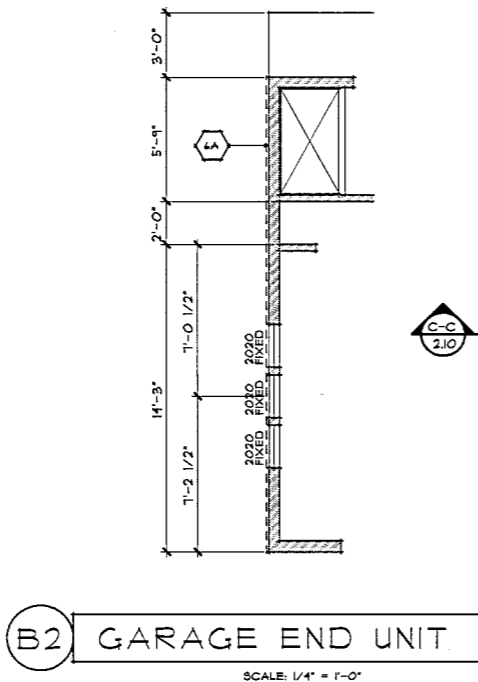
**LEGEND**

- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

1. PANTRY - 4 SHELVES.
2. PROVIDE 3/4" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
3. DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
5. SLIDE-IN RANGE-OVEN WITH MICROVAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
7. BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
9. LINE OF CABINETS ABOVE
13. 3/4" HIGH BREAKFAST BAR. (UNIT B ONLY)
17. FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE.
18. FIBERGLASS SHOWER PAN W/12" SOLID SURFACE SURROUND. INSTALL TO COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
21. SHOWER CURTAIN ROD.
22. TEMPERED GLASS ENCLOSURE
24. MEDICINE CABINET
21. LINEN-4 SHELVES
28. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH MFR'S SPECS. AND SECTION 908 OF THE CPC.)
33. WATER HEATER ON 18" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE W/VENT AND DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE & SECTION 408.3 OF THE CPC). (REFER TO ENERGY COMPLIANCE REPORT).
35. 3" DIAMETER CONCRETE FILLED STEEL PIPE.
38. CONCRETE STEPS (NO STEPS AT UNIT A)
39. FAN IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 7 & SECTION 301.3 OF THE CALIF. MECH. CODE & MFR. SPECS.) (REFER TO ENERGY COMPLIANCE REPORT).
40. DUCT SPACE
41. 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL
42. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL. DIRECTION MAY VARY PER ELEVATION.
52. SINGLE POLE AND SHELF.
54. DOUBLE POLE AND SHELF.
57. LINE OF CARPET TO HARD SURFACE.
58. GUARDRAIL. 42" MINIMUM HEIGHT (U.O.N.) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
59. HANDRAIL (HEIGHT: 34" MIN TO 38" MAX) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
43. 1/2" GYP BOARD AT WALLS, 5/8" TYPE "X" GYP BOARD AT CEILING AT GARAGE. WRAP BEAMS & POSTS. TYPICAL.
44. SELF CLOSING 1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER \* SILL.
48. CONCRETE STOOP AND STEP.
49. CONCRETE STOOP
10. CONCRETE PORCH AND STEPS (WHERE OCCUR).
15. LINE OF FLOOR ABOVE.
14. LINE OF FLOOR BELOW.
16. LINE OF CEILING CHANGE
17. 2 X 4 STUDS @ 24" OC WALL
18. 2 X 6 MAXPLY WOOD @ ELEV'S "A" AND "C" OR STUCCO (ELEV "B") SOFFIT.

**BUILDING DEPARTMENT CHECK**  
**APPROVED**  
 NOV 26 2017  
 PERMIT AND RESOURCE  
 MANAGEMENT DEPARTMENT



HYBRIDCORE HOME - 13036-HCH  
 FACTORY BUILT BY FLEETWOOD HOMES

RADCO  
 APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 6 and the regulations adopted pursuant thereto.

Approvals herein does not authorize or approve any omission of deviation from State laws or local ordinances nor is it applicable to movement of units over highways, county roads or city streets.

Foundations Design is not approved.

Occupancy: Res LL Wind Exp Seismic: Cat 13 20psf 110 mph C E

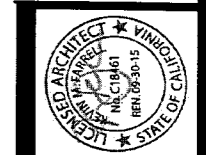
Plan Approval No. RAD-31-1022

By Christopher Sesma

Approved Date 3/2/2015

Expiration Date 7/9/2015

3rd PARTY APPROVAL STAMP



1022 Mendocino Avenue  
Santa Rosa, CA 95401  
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**PASEO VISTA**  
1960 & 2290 DUTTON AVENUE  
SANTA ROSA, CALIFORNIA

DESIGN FOR  
SHEET MODEL  
3036-HCH  
2.6

**LEGEND**

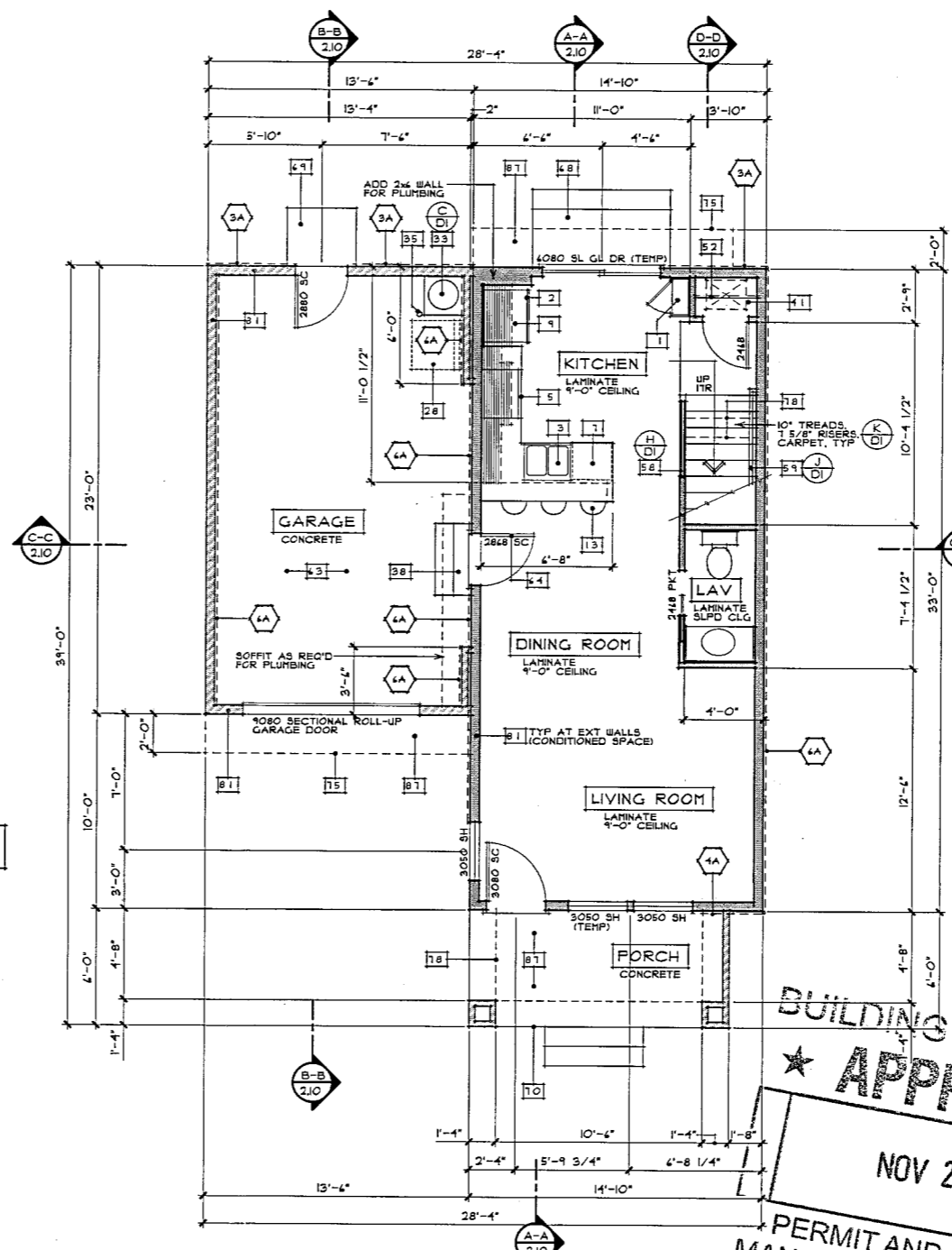
- ▬ WALLS/CONFINES OF FACTORY-BUILT AREAS
- ▬ WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

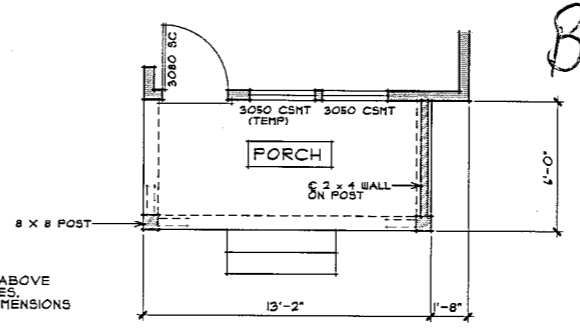
1. PANTRY - 4 SHELVES.
2. PROVIDE 3" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
3. DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
4. SLIDE-IN RANGE-OVEN WITH MICROWAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
5. BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
6. LINE OF CABINETS ABOVE.
7. 3" HIGH BREAKFAST BAR. (UNIT B ONLY)
8. FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND.
9. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE.
10. FIBERGLASS SHOWER PAN W/12" SOLID SURFACE SURROUND (STALL TO COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
11. SHOWER CURTAIN ROD.
12. TEMPERED GLASS ENCLOSURE
13. MEDICINE CABINET
14. LINEN-6 SHELVES
15. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH MFR'S SPECS. AND SECTION 908 OF THE CMC.)
16. WATER HEATER ON 18" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE W/VENT, AND DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE (SECTION 408.3 OF THE CMC). (REFER TO ENERGY COMPLIANCE REPORT).
17. 3" DIAMETER CONCRETE FILLED STEEL PIPE.
18. CONCRETE STEPS (NO STEPS AT UNIT A).
19. FAU IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 1 & SECTION 301.3 OF THE CALIF. MECH. CODE (MFR. SPECS.). (REFER TO ENERGY COMPLIANCE REPORT).
20. DUCT SPACE.
21. 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL
22. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL.
23. DIRECTION MAY VARY PER ELEVATION.
24. SINGLE POLE AND SHELF.
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26. LINE OF CARPET TO HARD SURFACE.
27. GUARDRAIL. 42" MINIMUM HEIGHT (U.O.N.) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
28. HANDRAIL. (HEIGHT: 34" MIN TO 38" MAX) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
29. 1/2" GYP BOARD AT WALLS, 5/8" TYPE "X" GYP BOARD AT CEILING AT GARAGE, W/SP BEAMS & JOISTS, TYPICAL.
30. SELF CLOSING 1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
31. CONCRETE STOOP AND STEP.
32. CONCRETE STOOP.
33. CONCRETE PORCH AND STEPS (WHERE OCCUR).
34. LINE OF FLOOR ABOVE.
35. LINE OF FLOOR BELOW.
36. LINE OF CEILING CHANGE.
37. 2" X 4" STUDS @ 16" OC WALL.
38. 5/8" ACX PLYWOOD (ELEVS "A" AND "C") OR STUCCO (ELEV "B") SOFFIT.

**B2 GARAGE END UNIT**  
SCALE: 1/4" = 1'-0"

SEE UNIT B1 FOR TYPICAL NOTES, MATERIALS, AND DIMENSIONS NOT SHOWN HERE.



**B1 LOWER FLOOR PLAN, ELEVS A & C**  
SCALE: 1/4" = 1'-0"



NOTE:  
SEE FLOOR PLAN ABOVE FOR TYPICAL NOTES, MATERIALS AND DIMENSIONS NOT SHOWN HERE

**B1 LOWER FLOOR PLAN, ELEV B**  
SCALE: 1/4" = 1'-0"

**BUILDING PLAN CHECK**  
**APPROVED**  
NOV 26 2017  
PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

HYBRIDCORE HOME - 13036-HCH  
FACTORY BUILT BY FLEETWOOD HOMES

RADCO  
APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 6 and the regulations adopted pursuant thereto.

Applicable herein does not authorize or approve any omission of deviation from State laws or valid local ordinances nor is it applicable to movement of units over highways, county roads or city streets.

Foundation Design for most approved.

Occupancy Roof LL Wind Exp. Seismic Cat  
R3 2dperf 110 mph C E

Plan Approval No. RAD-31-1022

By Christopher Sesma  
Approved Date 3/17/2015  
Expiration Date 7/5/2018

3rd PARTY APPROVAL STAMP

LOWER FLOOR LIVING AREA = APPROX 490 SQ FT  
UPPER FLOOR LIVING AREA = APPROX 801 SQ FT  
TOTAL LIVING AREA = APPROX 1291 SQ FT

GARAGE AREA = APPROX 310 SQ FT



1022 Mendocino Avenue  
 San Jose, CA 95128  
 TEL: 707.579.3811  
 FAX: 707.579.2648  
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PASEO VISTA  
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 DO NOT SCALE PLANS

SHEET MODEL 13036-HCH  
 UNIT B1/B2 2.7

**LEGEND**

- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

1. PANTRY - 4 SHELVES.
2. PROVIDE 34" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
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81. 5/8" ACPLY WOOD (ELEVS 'A' AND 'C') OR STUCCO (ELEV 'B') SOFFIT.

**APPROVED**

NOV 26 2017

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

RADCO  
 APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 43, Part 6 and the regulations adopted pursuant thereto.

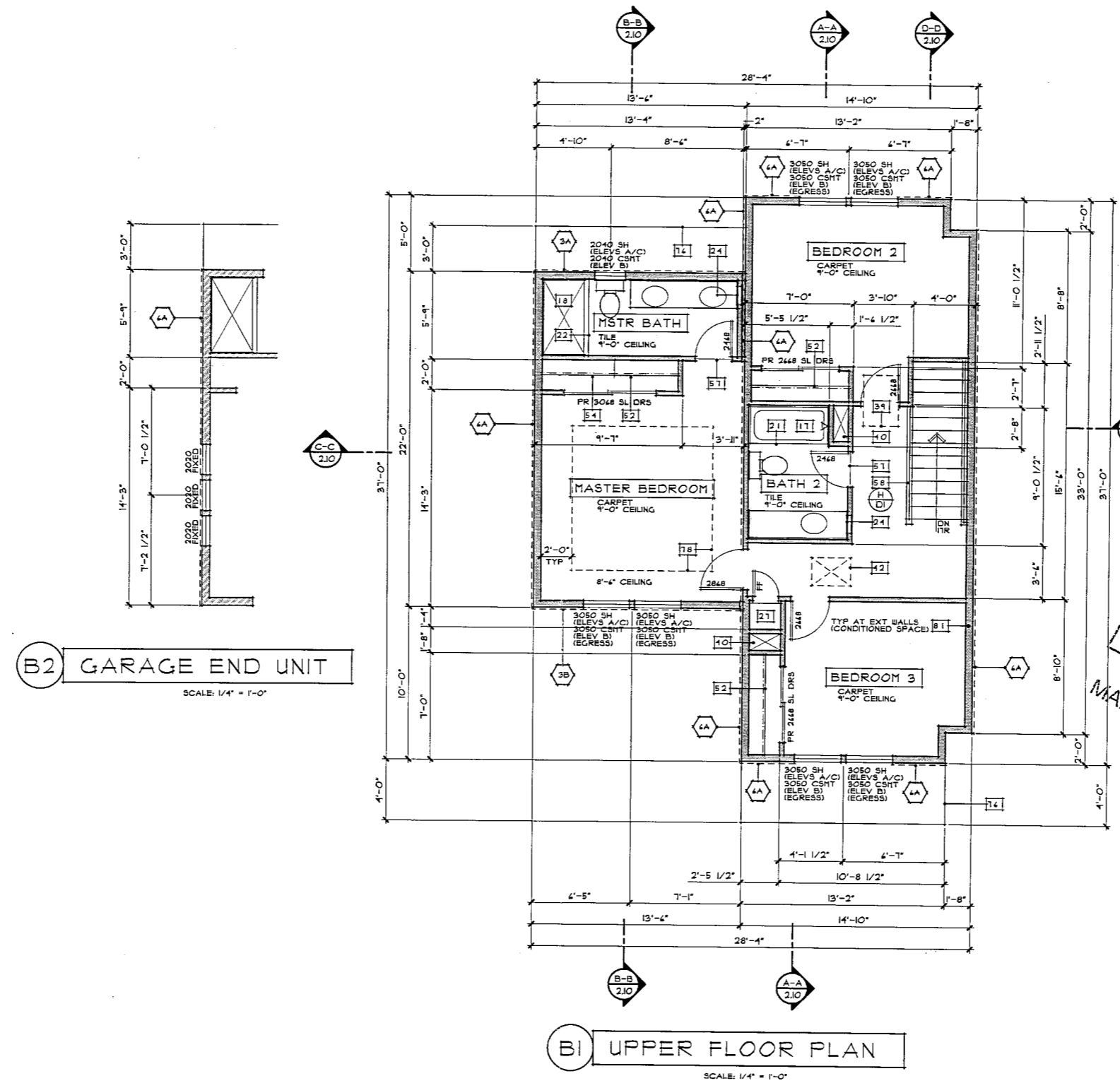
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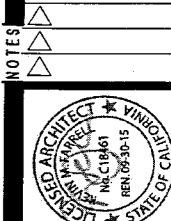
**Foundation Design is not approved.**

Occupancy Rwd LL Wind Exp Seismic Cat  
 R3 20psf 110 mph C E

Plan Approval No. RAD-31-1022  
 By Christopher Sesma  
 Approved Date 9/2/2015  
 Expiration Date 7/8/2018

3rd PARTY APPROVAL STAMP





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 SYSTEM, WITHOUT THE WRITTEN CONSENT OF FARRELL-FABER AND  
 ASSOCIATES INC. ANY UNAUTHORIZED REPRODUCTION OR  
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 ARRANGEMENTS SHALL CONSTITUTE A VIOLATION OF THE  
 APPLICABLE LAWS AND REGULATIONS AND SHALL BE SUBJECT TO  
 LEGAL ACTION AND PENALTY.  
 DO NOT SCALE PLANS

**LEGEND**

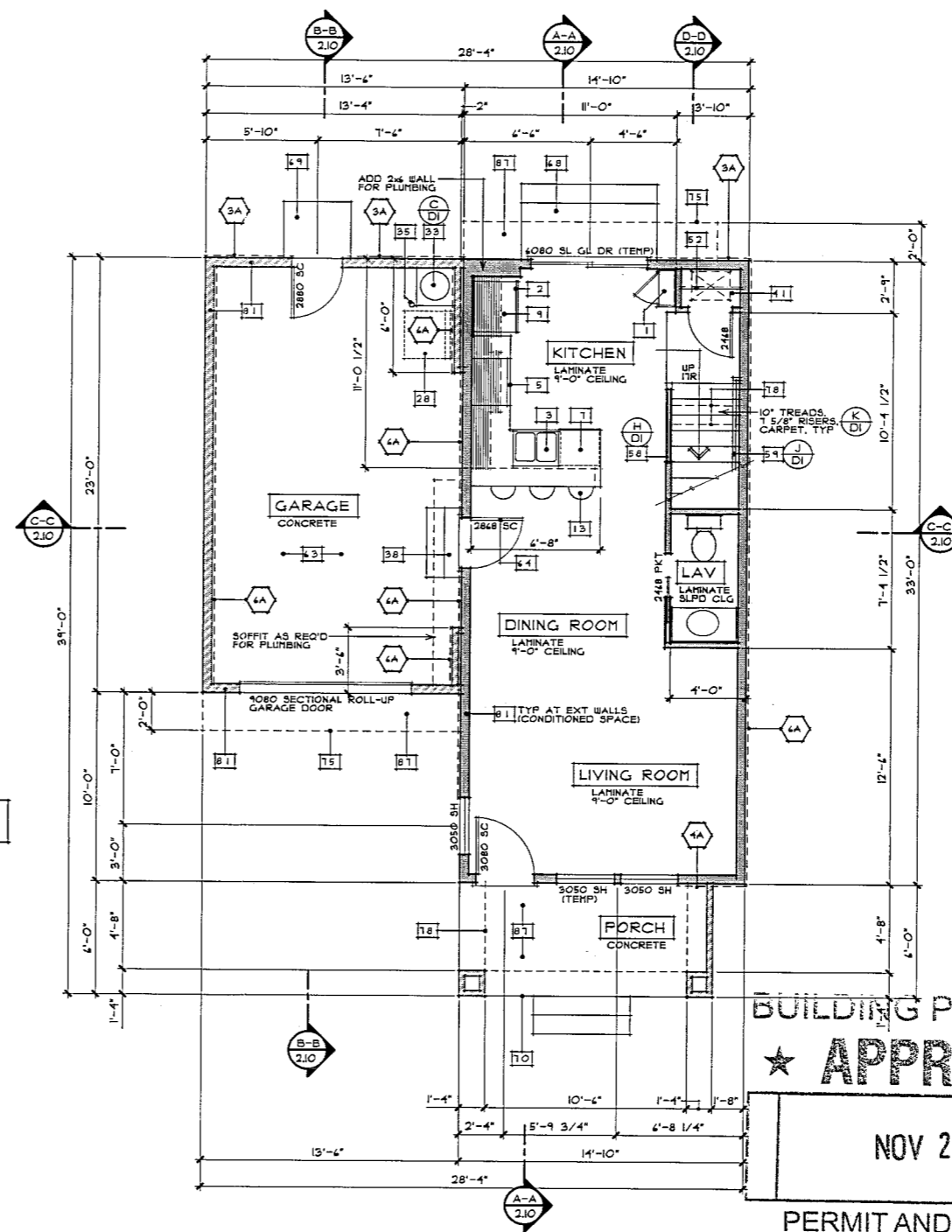
- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

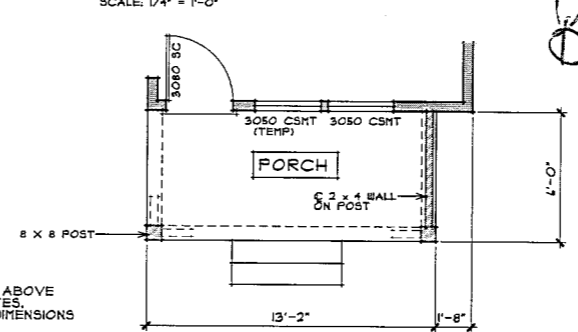
1. PANTRY - 4 SHELVES.
2. PROVIDE 39" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL SOX.
3. DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL.
4. PROVIDE VENT LOOP AS NECESSARY PER CPC 909.01.
5. SLIDE-IN RANGE-OVEN WITH MICROWAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
6. BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
7. LINE OF CABINETS ABOVE.
8. 36" HIGH BREAKFAST BAR. (UNIT B ONLY)
9. FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE.
10. FIBERGLASS SHOWER PAN W/12" SOLID SURFACE SURROUND (STALL TO COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
11. SHOWER CURTAIN ROD.
12. TEMPERED GLASS ENCLOSURE
13. MEDICINE CABINET
14. LINEN-4 SHELVES
15. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH MFR'S. SPECS. AND SECTION 408 OF THE CMC.)
16. WATER HEATER ON 18" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE & DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE & SECTION 408.3 OF THE CPC. (REFER TO ENERGY COMPLIANCE REPORT).)
17. 3" DIAMETER CONCRETE FILLED STEEL PIPE.
18. CONCRETE STEPS (NO STEPS AT UNIT A1)
19. FAN IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 7 & SECTION 301.3 OF THE CALIF. MECH. CODE & MFR. SPECS.) (REFER TO ENERGY COMPLIANCE REPORT).
20. DUCT SPACE.
21. 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL
22. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL. DIRECTION MAY VARY PER ELEVATION.
23. SINGLE POLE AND SHELF.
24. DOUBLE POLE AND SHELF.
25. LINE OF CARPET TO HARD SURFACE.
26. GUARDRAIL. 42" MINIMUM HEIGHT (U.O.N.) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
27. HANDRAIL (HEIGHT: 34" MIN TO 38" MAX) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
28. 1/2" GYP BOARD AT WALLS, 5/8" TYPE "X" GYP BOARD AT CEILING IN GARAGE. WRAP BEAMS & POSTS, TYPICAL.
29. SEAL DOORING (1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
30. CONCRETE STUOP AND STEP.
31. CONCRETE STUOP AND STEPS (WHERE OCCUR).
32. LINE OF FLOOR ABOVE.
33. LINE OF FLOOR BELOW.
34. LINE OF CEILING CHANGE.
35. 2 x 4 STUDS @ 16" OC WALL.
36. 5/8" ACX PLYWOOD (ELEVS "A" AND "C") OR STUCCO (ELEV "B") SOFFIT.

**B2 GARAGE END UNIT**  
 SCALE: 1/4" = 1'-0"

SEE UNIT B1 FOR TYPICAL NOTES, MATERIALS, AND DIMENSIONS NOT SHOWN HERE.



**B1 LOWER FLOOR PLAN, ELEVS A & C**  
 SCALE: 1/4" = 1'-0"



NOTE:  
 SEE FLOOR PLAN ABOVE FOR TYPICAL NOTES, MATERIALS AND DIMENSIONS NOT SHOWN HERE

**B1 LOWER FLOOR PLAN, ELEV B**  
 SCALE: 1/4" = 1'-0"

**BUILDING PLAN CHECK**  
 ★ APPROVED ★

NOV 26 2017  
 PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

HYBRIDCORE HOME - 13036-HCH  
 FACTORY BUILT BY FLEETWOOD HOMES

RADCO  
 APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 72, Part 6 and the regulations adopted pursuant thereto.

Approval herein does not authorize or approve any omission of deviation from State laws or valid local ordinances nor is it applicable to movement of units over highways, county roads or city streets.

Foundation Design is not approved.

Occupancy Roof LL Wind Exp Seismic Cat  
 R3 20psf 110 mph C E

Plan Approval No. RAD-31-1022

By Christopher Sesma  
 Approved Date 9/2/2015  
 Expiration Date 7/8/2018

3rd PARTY APPROVAL STAMP

LOWER FLOOR LIVING AREA = APPROX 490 SQ FT  
 UPPER FLOOR LIVING AREA = APPROX 801 SQ FT  
 TOTAL LIVING AREA = APPROX 1291 SQ FT

GARAGE AREA = APPROX 310 SQ FT

BC017-5488  
 File Copy



1022 Mendocino Avenue  
Santa Rosa, CA 95401  
TEL: 707-578-3811  
FAX: 707-578-2646  
www.farrellfaber.com

**FARRELL-FABER**  
& ASSOCIATES IN C.  
ARCHITECTURE • PLANNING

DESIGN FOR  
**PASEO VISTA**  
1960 & 2290 DUTTON AVENUE  
SANTA ROSA, CALIFORNIA

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RESTRICTIONS.

DO NOT SCALE DRAWING

SHEET MODEL 13036-HCH

UNIT BI/B2 2.1

**LEGEND**

- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

- PANTRY - 4 SHELVES.
- PROVIDE 34" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
- DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 109.0)
- SLIDE-IN RANGE-OVEN WITH MICROWAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAIRER. (VERIFY DIMS W/MFR.)
- BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
- LINE OF CABINETS ABOVE.
- 34" HIGH BREAKFAST BAR. (UNIT B ONLY)
- FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE.
- FIBERGLASS SHOWER PAN W/12" SOLID SURFACE SURROUND (STALL TO COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
- SHOWER CURTAIN ROD.
- TERPED GLASS ENCLOSURE
- MEDICINE CABINET
- LINEN-4 SHELVES
- STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH MFR'S SPECS. AND SECTION 408 OF THE C.C.C.)
- WATER HEATER ON 16" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE W/VENT. AND DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE I SECTION 408.3 OF THE CPC). REFER TO ENERGY COMPLIANCE REPORT.)
- 3" DIAMETER CONCRETE FILLED STEEL PIPE.
- CONCRETE STEPS (IN STEPS AT UNIT B)
- FAU IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 1 & SECTION 301.3 OF THE CALIF. MECH. CODE (MFR. SPECS.) (REFER TO ENERGY COMPLIANCE REPORT).)
- DUCT SPACE.
- 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL
- 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL. DIRECTION MAY VARY PER ELEVATION.
- SINGLE POLE AND SHELF.
- DOUBLE POLE AND SHELF.
- LINE OF CARPET TO HARD SURFACE.
- GUARDRAIL - 42" MINIMUM HEIGHT (U.O.N.) - SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
- HANDRAIL (HEIGHT: 34" MIN TO 38" MAX) SEE PLAN FOR DETAIL REF. LESS THAN 4" CLEAR SPACE BETWEEN MEMBERS.
- 1/2" GYP BOARD AT WALLS. 5/8" TYPE "X" GYP BOARD AT CEILING AT GARAGE. WRAP BEAMS & ROSTS. TYPICAL SELF CLOSING 1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
- CONCRETE STOOP AND STEP.
- CONCRETE STOOP.
- CONCRETE PORCH AND STEPS (WHERE OCCUR).
- LINE OF FLOOR ABOVE.
- LINE OF FLOOR BELOW.
- LINE OF CEILING CHANGE.
- 2" X 4" STUDS @ 16" OC WALL.
- 5/8" SOFFIT WOOD (ELEV. A/C) AND R/C (OR STALCO) (ELEV. B)

BUILDING PLAN CHECK

★ APPROVED ★

NOV 26 2017

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

HYBRIDCORE HOME - 13036-HCH  
FACTORY BUILT BY FLEETWOOD HOMES

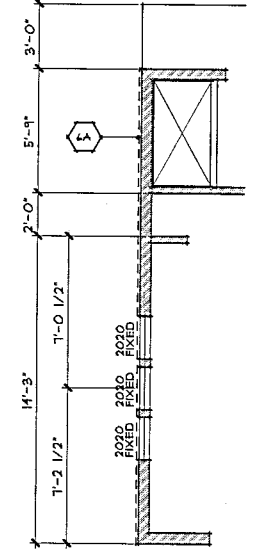
RADCO  
APPROVED FACTORY-BUILT HOUSING

These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 5 and the regulations adopted pursuant thereto.  
Approval herein does not authorize or approve any omission of division 13 from State laws or local ordinances nor is it applicable to placement of units over highways, county roads or city streets.  
Foundations Design is not approved.

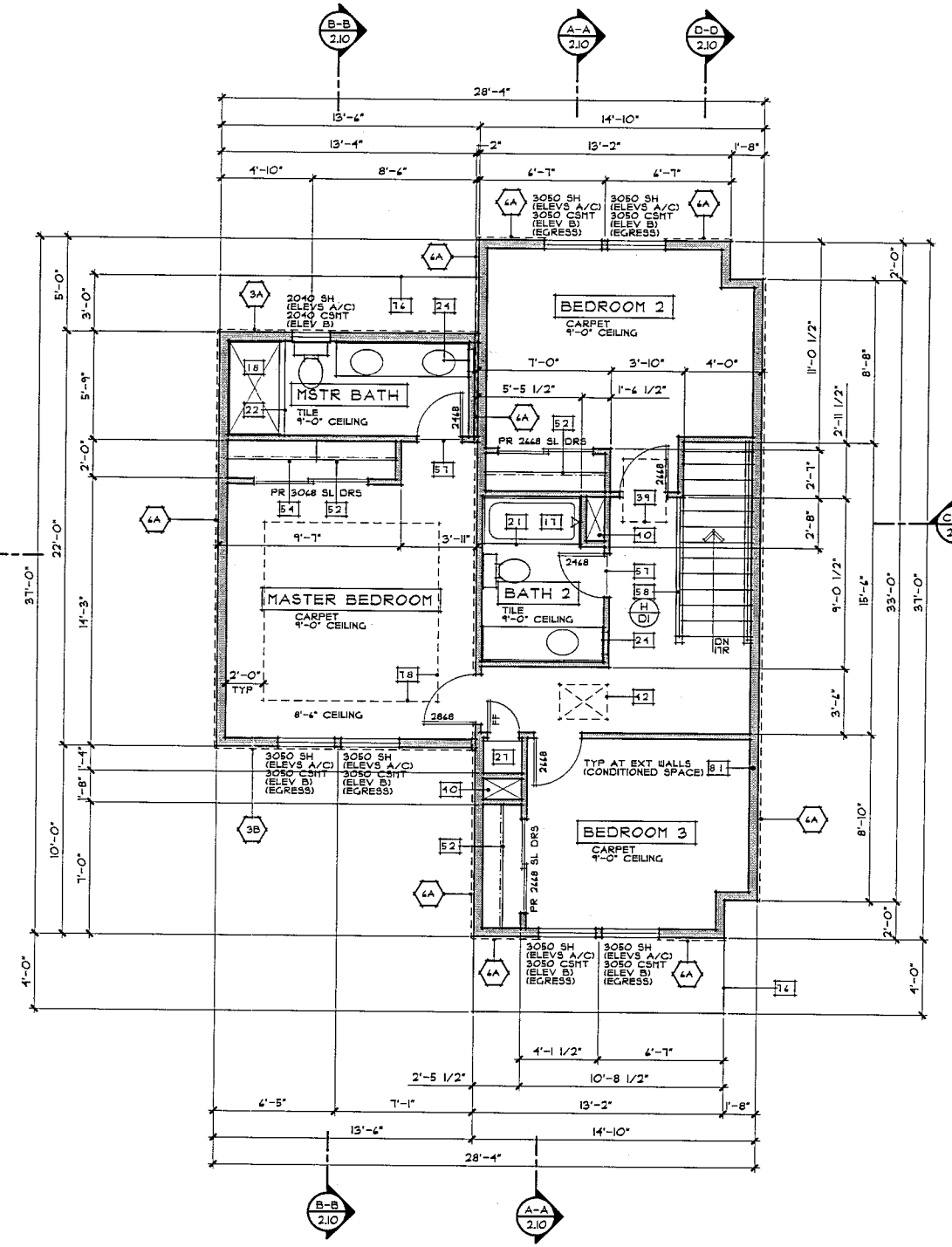
Occupancy: Rad LL Wind Exp. Seismic Cat  
10 20psf 110 mph C E  
Plan Approval No. RAD-31-1022  
By Christopher Sesma  
Approved Date 9/2/2015  
Expiration Date 7/9/2018

3rd PARTY APPROVAL STAMP

B2 GARAGE END UNIT  
SCALE: 1/4" = 1'-0"



BI UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



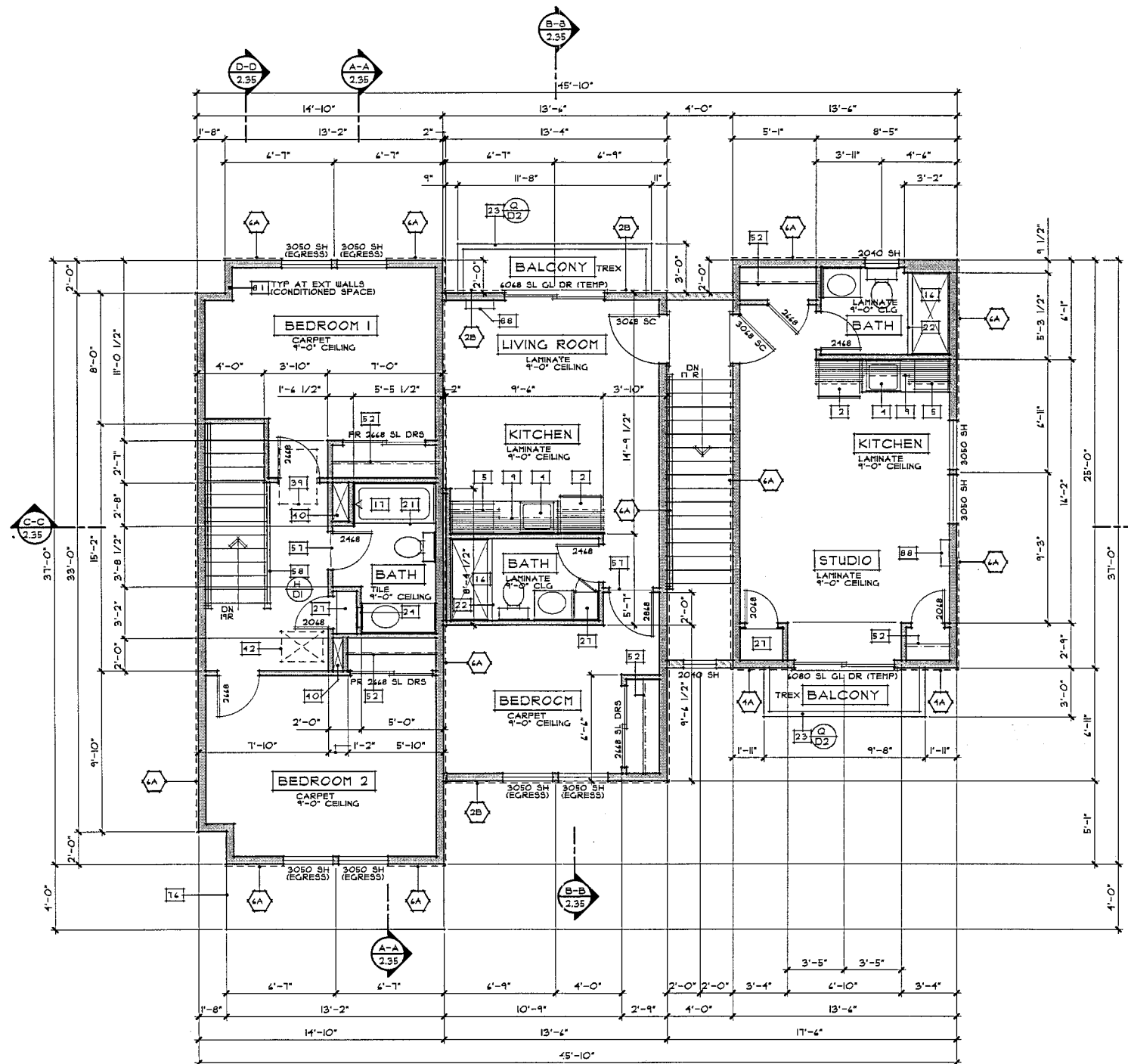


**LEGEND**

- WALLS/CONFINES OF FACTORY-BUILT AREAS
- WALLS/CONFINES OF SITE-BUILT AREAS

**FLOOR PLAN NOTES**

2. PROVIDE 33" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
3. DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
4. SINGLE KITCHEN SINK W/GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
5. SLIDE-IN RANGE-OVEN WITH MICROAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/NFR.)
6. TWO 15" WIDE MINIMUM BREADBOARDS (ONE EACH SIDE OF SINK) PER CBC 11339.4 (EXCEPTION).
7. LINE OF CABINETS ABOVE.
8. FIBERGLASS SHOWER ENCLOSURE W/12" MAINSCOT (STALL SHALL COMPLY W/ SECTION 412.0 OF THE CALIF. PLUMBING CODE.)
9. FIBERGLASS TUB/SHOWER COMB. W/12" SOLID SURFACE SURROUND. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER CODE.
10. SHOWER CURTAIN ROD.
11. TEPHERED GLASS ENCLOSURE.
12. WOOD RAILING. SEE DETAIL.
13. MEDICINE CABINET.
14. LINEN & SHELVES.
15. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU WALL. (VENT RUN SHALL COMPLY WITH NFR'S SPECS. AND SECTION 906 OF THE CBC.)
16. WATER HEATER ON 18" HIGH WOOD PLATFORM. INSTALL PRESSURE RELIEF VALVE W/VENT, AND DRAIN TO OUTSIDE (COMPLY WITH CHAPTER 5 OF THE CALIF. MECHANICAL CODE & SECTION 408.3 OF THE CPC) (REFER TO ENERGY COMPLIANCE REPORT).
17. 3" DIAMETER CONCRETE FILLED STEEL PIPE.
18. CONCRETE STEPS.
19. FAN IN ATTIC. INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 1 & SECTION 301.3 OF THE CALIF. MECH. CODE & NFR. SPECS. (REFER TO ENERGY COMPLIANCE REPORT).
20. DUCT SPACE.
21. 18" X 24" FOUNDATION ACCESS. GASKET OR WEATHERSEAL.
22. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL. DIRECTION MAY VARY PER ELEVATION.
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27. 1/2" GYP BOARD AT WALLS. 5/8" TYPE "X" GYP BOARD AT CEILING AT GARAGE. WRAP BEAMS & POSTS. TYPICAL.
28. SELF CLOSING 1 3/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
29. CONCRETE STAIRS.
30. CONCRETE PORCH AND STEPS (WHERE OCCUR).
31. LINE OF FLOOR ABOVE.
32. LINE OF FLOOR BELOW.
33. LINE OF CEILING CHANGE.
34. 2 x 4 STUDS @ 16" OC WALL.
35. 5/8" ACK PLYWOOD SOFFIT.
36. WALL-MOUNTED FURNACE. SEE T-24 REPORT FOR SPECS.



**CI UPPER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**BUILDING PLAN CHECK**  
 ★ **APPROVED** ★

NOV 26 2017  
 PERMIT AND RESOURCE  
 MANAGEMENT

13034-HCH  
 FACTORY BUILT BY FLORIBOARD HOMES

**RADCO**  
 APPROVED FACTORY-BUILT HOUSING  
 These plans have been approved pursuant to the provisions of the State of California Health and Safety Code, Division 13, Part 8 and the regulations adopted pursuant thereto.  
 Approval herein does not authorize or approve any omission of elevation from State laws or valid local ordinances nor is it applicable to movement of units over highways, county roads or city streets.  
 Foundation Design to be approved.  
 Occupancy Roof LL: Wind Exp: Seismic Cat: RS 20psf 110 mph C E  
 Plan Approval No. **RAD-31-1022**  
 By **Christopher Sesma**  
 Approved Date **3/7/2015**  
 Expiration Date **7/3/2015**

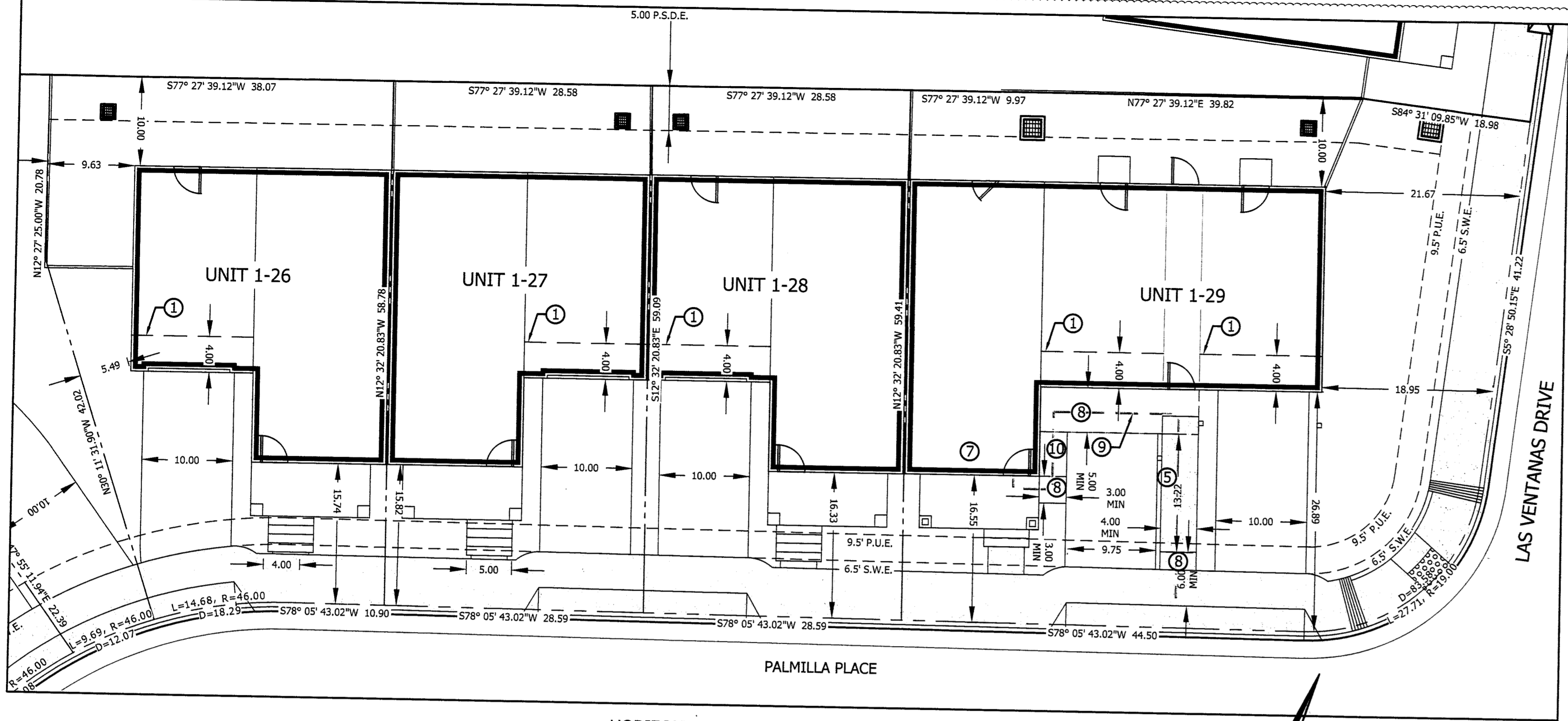
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 ARCHITECTURE • PLANNING

**PASEO VISTA**  
 1960 & 2290 DUTTON AVENUE  
 SANTA ROSA, CALIFORNIA

DESIGN FOR  
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 DO NOT SCALE PLANS

13036-HCH  
 UNIT CI (REVERSE) 2.32R



**GENERAL NOTE**

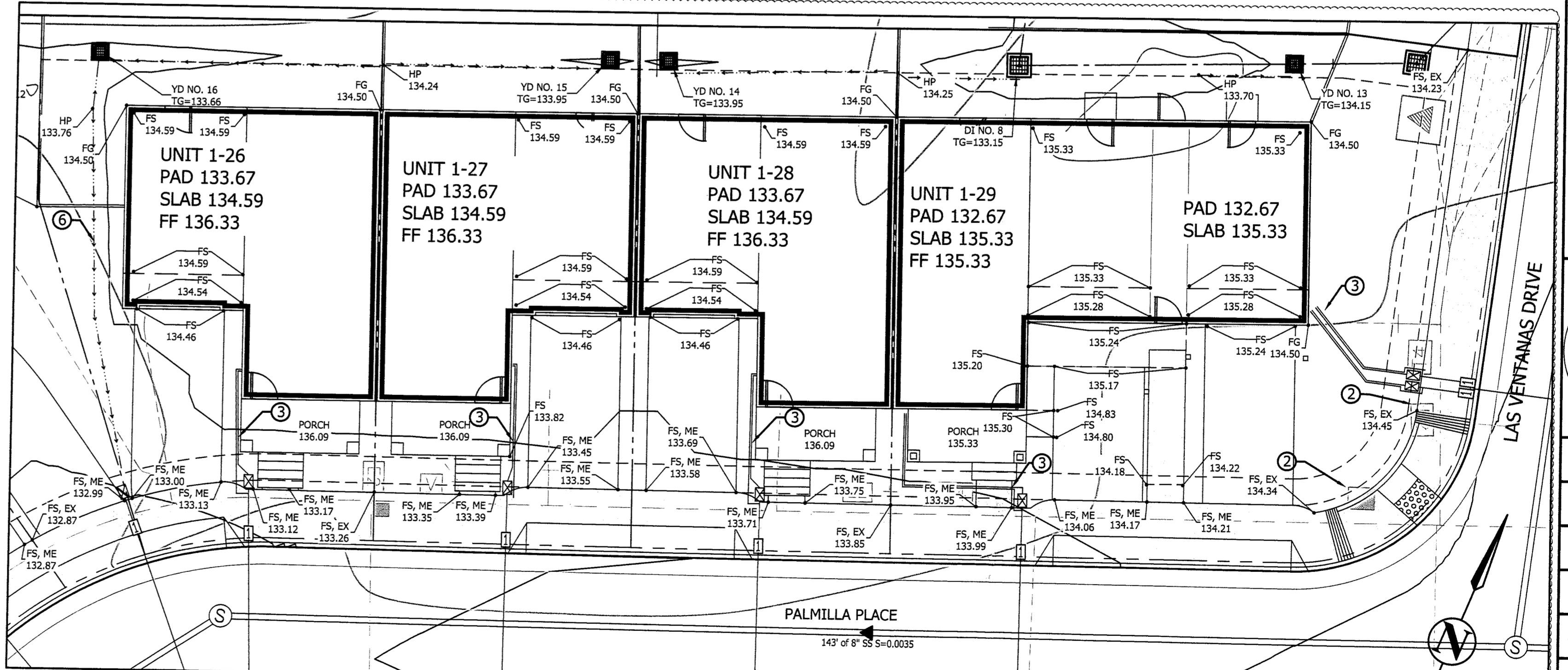
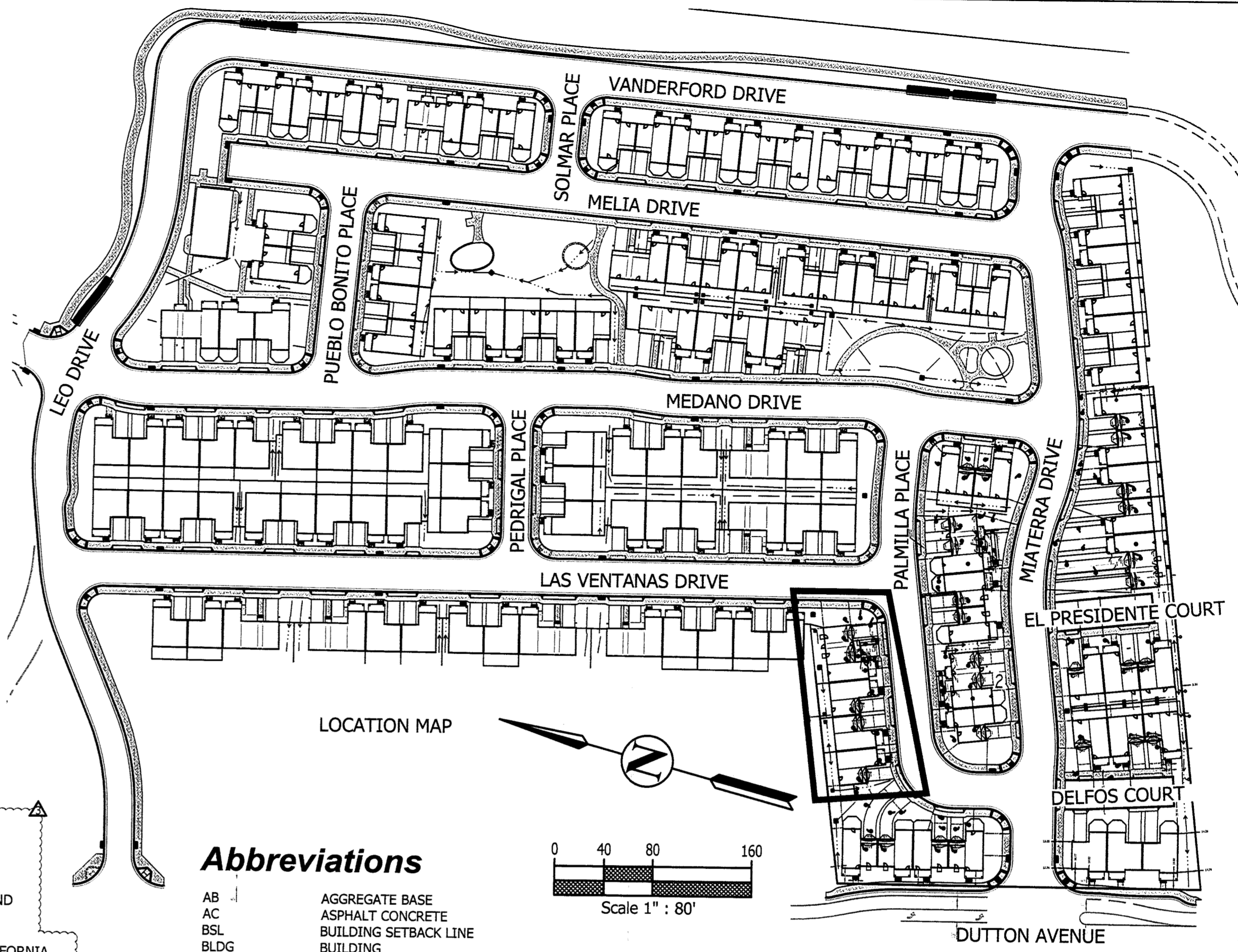
- EXISTING ROADWAYS, CULVERTS, GAS LINES, FENCE LINES, AND POWER POLE LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THIS DRAWING. OBTAIN WRITTEN PERMISSION FROM THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING AND THE COUNTY OF SONOMA PRIOR TO INSTALLING IMPROVEMENTS IN A MANNER WHICH DEVIATE FROM THIS DRAWING.
- OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY THE COUNTY OF SONOMA PRIOR TO COMMENCEMENT OF WORK. PERFORM WORK IN ACCORDANCE WITH THE COUNTY OF SONOMA DESIGN AND CONSTRUCTION STANDARDS, AND LOCAL MUNICIPAL POLICIES UNLESS INDICATED OTHERWISE.
- THE PROFESSIONAL PREPARING THIS DRAWING AND THE OWNER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF INFORMATION. EXPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THEIR RESPECTIVE ALIGNMENT AND ELEVATION. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THIS DRAWING, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE. THE PROPOSED UTILITIES MAY REQUIRE RE-ALIGNMENT TO ACCOMMODATE THE FIELD CONDITION.
- APPENDIX SECTION A4.106.4 OF THE CALIFORNIA GREEN BUILDING CODE, ADOPTED BY THE COUNTY OF SONOMA, REQUIRES THAT 20% OF PARKING, WALKING, AND PATIO SURFACES, EXCLUDING THE PRIMARY DRIVEWAY, ENTRY WALK, ENTRY PORCH AND LANDSCAPING, BE COMPOSED OF PERVIOUS MATERIALS. REFER TO ARCHITECTURAL DRAWINGS FOR SITE IMPERVIOUS SURFACES OTHER THAN THOSE WHICH ARE EXEMPT FROM THIS SECTION.

**PLOT PLAN NOTES**

- CONSTRUCTION TO COMPLY WITH ANY NOTES OR RESTRICTIONS SHOWN ON THE FINAL MAP, SUBDIVISION IMPROVEMENT PLANS, ZONING ORDINANCES, SOILS REPORT, OR OTHER APPLICABLE ITEMS.
- SEE ARCHITECT'S FLOOR PLAN FOR ALL BUILDING DIMENSIONS.
- LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. VERIFY ALL UTILITY CONNECTION POINTS WITH PLUMBING PLANS. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO STARTING WORK.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING PUBLIC EASEMENTS, REQUIRES AN ENCROACHMENT PERMIT FROM THE ENGINEERING DEPARTMENT.
- NO STRUCTURE MAY ENROACH ON ANY PUBLIC WATER OR SEWER EASEMENT ABOVE OR BELOW THE SURFACE OF THE GROUND. THIS INCLUDES FOOTINGS OF FOUNDATIONS OR EAVES FROM THE ROOF OF ANY ADJACENT STRUCTURES.
- SLOPE GRADE 5% PER FOOT FOR 5'-0" MINIMUM AWAY FROM BUILDING OR AS SHOWN ON APPROVED DRAINAGE PLAN.
- EXCESS EARTH TO BE REMOVED TO A SITE APPROVED BY THE COUNTY OF SONOMA FIRE DEPARTMENT AND BUILDING DIVISION.
- CONTRACTOR SHALL PROVIDE EROSION PREVENTION AND SEDIMENT CONTROL DURING CONSTRUCTION PER COUNTY APPROVED BEST MANAGEMENT PRACTICES. AT A MINIMUM, ALL DISTURBED AREAS SHALL BE HYDROSEEDING WITH LEGALISTERS QUICK COVER CROP SEED MIX AT A RATE OF 80 LBS/AC PRIOR TO OCTOBER 15. DISTURBED AREAS TO BE LANDSCAPED MAY BE STABILIZED BY APPLYING STRAW MULCH AT A RATE OF 2 TONS/AC.
- A SEWER RELIEF VALVE MUST BE INSTALLED AT THE 2 WAY CLEANOUT TO THE HOUSE ON ALL LOTS WHERE THE FINISHED FLOOR ELEVATION IS BELOW THE RIM OF THE NEXT UPSTREAM MANHOLE OF THE PUBLIC SEWER PER CPC SECTION 710.1.
- PUBLIC UTILITY EASEMENTS MAY CONTAIN ELECTRICAL TRANSFORMERS, OTHER UTILITY VAULTS, MAIL BOXES, LIGHT POLES, STREET SIGNS, FIRE HYDRANTS, AND/OR OTHER ITEMS REQUIRED BY THE GOVERNING AGENCIES. THE BUYER(S) SHOULD INSPECT THE SPECIFIC LOT THE BUYER(S) WISH TO PURCHASE TO DETERMINE WHAT IS CONTAINED WITHIN THE PUBLIC EASEMENT.
- ALL ONSITE SWALES SHALL BE PERMANENTLY MAINTAINED BY THE HOMEOWNER SUCH THAT THEY FUNCTION PROPERLY AND NO LOT TO LOT DRAINAGE OCCURS.
- IT IS TO BE UNDERSTOOD THAT THE DRAINAGE AREAS, SLOPES AND GRADES SHALL NOT BE ALTERED, CHANGED, BLOCKED, MODIFIED OR IN ANY WAY RECONSTRUCTED BY OWNER CONTRARY TO WHAT IS DEPICTED ON THIS PLOT PLAN, UNLESS DESIGNATED BY AN ENGINEER AND APPROVED BY THE COUNTY OF SONOMA.
- A GRADING AND DRAINAGE VERIFICATION LETTER SHALL BE PROVIDED TO THE BUILDING DIVISION INSPECTOR BY THE LICENSED ENGINEER OF RECORD FOR THIS LOT. THIS LETTER SHALL VERIFY THAT GRADING AND DRAINAGE HAS BEEN COMPLETED PER APPROVED PLOT PLAN, WITH THE EXCEPTIONS NOTED IN "AS-BUILT" CONFIGURATION, AND IN AGREEMENT WITH THE CALIFORNIA BUILDING CODE.
- PROVIDE POSITIVE DRAINAGE FROM THE UNDER FLOOR AREA TO PREVENT THE PONDING OF WATER. FOUNDATION DRAIN LINES TO BE PROVIDED WHERE NECESSARY TO DRAIN WATER AWAY FROM FOUNDATION AND UNDER FLOOR AREAS.
- THESE DRAWINGS ASSUME ROADS, COURTS, DRIVEWAY CUTS, SIDEWALKS, UTILITIES, BMPs IN ROADS AND OR COURTS, AND LATERALS ARE INSTALLED PER IMPROVEMENT PLANS BY T.D.G. CONSULTING CIVIL ENGINEERS, INC SIGNED 09/12/16.
- CONTRACTOR IS CAUTIONED, HEIGHT FROM PAD TO TOP OF SLABS VARY. IN NO CIRCUMSTANCES SHALL THE PAD BE LESS THAN RECOMMENDATIONS MADE BY THE GEOTECH AND STRUCTURAL ENGINEER.

- KEY NOTES**
- GRADE BREAK
  - DRY UTILITY BOX TO BE LOCATED OUTSIDE OF CONCRETE RAMP AND CURB.
  - INSTALL WATER LATERAL PER SANTA ROSA CITY STD 875 AND CALIFORNIA PUBLIC CODE.
  - NOT USED
  - SLOPE NOT TO EXCEED 2% CROSS SLOPE AND 8.33% LONGITUDINALLY. SEE ARCHITECTURAL DRAWING FOR HANDRAILS AND GUARD RAILS
  - SEE GRADING PLANS
  - ACCESSIBLE UNIT
  - SLOPE NOT TO EXCEED 2% IN ANY DIRECTION
  - ACCESSIBLE PATH
  - SLOPE NOT TO EXCEED 2% CROSS SLOPE AND 5% LONGITUDINALLY.

- Abbreviations**
- |          |                             |
|----------|-----------------------------|
| AB       | AGGREGATE BASE              |
| AC       | ASPHALT CONCRETE            |
| BSL      | BUILDING SETBACK LINE       |
| BLDG     | BUILDING                    |
| DI       | DROP INLET                  |
| E.P.     | EDGE OF PAVEMENT            |
| EX.      | EXISTING                    |
| F.F.     | FINISHED FLOOR              |
| F.G.     | FINISHED GRADE              |
| F.L.     | FLOW LINE                   |
| HP       | HIGH POINT                  |
| INV.     | INVERT                      |
| L.F.     | LINEAR FEET                 |
| MAX.     | MAXIMUM                     |
| ME       | MATCH EXISTING              |
| MIN.     | MINIMUM                     |
| P.L.     | PROPERTY LINE               |
| P.S.D.E. | PRIVATE STORMDRAIN EASEMENT |
| P.U.E.   | PUBLIC UTILITY EASEMENT     |
| PVT.     | PRIVATE                     |
| TYP      | TYPICAL                     |



*2017-5487, 2017-5488, 2017-5489, 2017-5490, 2017-5491*  
*File Copy*

**BUILDING PLAN CHECK**  
 \* APPROVED \*  
 PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

REV.	DESCRIPTION	BY	DATE
1	FINISH FLOOR ELEVATION	WJB	01/17/17
2	UTILITIES AND SLAB ELEVATIONS	WJB	01/19/18
3	ACCESSIBLE RAMP GRADING	WJB	01/25/18
4	PRVD COMMENTS	WJB	

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bcengineeringgroup.com  
 Phone: 707.542.4321  
 SANTA ROSA OFFICE: 2800 Cleveland Ave, Suite C, Santa Rosa, CA 95403  
 UKIAH OFFICE: 603 S. State Street, Ukiah, CA 95482

**REGISTERED PROFESSIONAL ENGINEER**  
 WILLIAM J. BORTOLO  
 No. 73905  
 CIVIL  
 STATE OF CALIFORNIA

**PLOT PLAN - UNITS 26-27-28-29**  
 GRADING PLAN  
 MICHAEL GASPARIINI  
 PASCEO VISTA  
 1960-2000-8-2290-DUTTON-AVE.  
 SANTA ROSA, CA 95407

Date: 02/13/18  
 Job: 186-16  
 Drawn: WJB  
 Scale: SEE SCALE  
 APN: 125-501-007  
 Permit #:  
 Sheet: **1.0**  
 1 of 1